



CITY OF AVONDALE ESTATES

# LOOK BOOK

February 2023



LORD AECK SARGENT

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# DEVELOPMENT PROCESS

## 1 ZONING REVIEW APPLICATION

10 business-day review

[Link to City Website Zoning Approval](#)

Application requirements-

1. Legal description and plat of property
2. Scale drawing(s) of existing condition
3. Site survey
4. Scale drawing(s) of proposed site plan
5. Photos of the existing site including structure to be modified
6. Rendering of the project including dimensions of all sides of the building
7. Photos of the structure as seen from the street

METHOD For applications related to

### a Zoning Variance and/or Rezoning

— Online Zoning Application  
Needs minimum 10 business days to be reviewed and forwarded to PZAB board.

— Planning, Zoning & Appeals Board (PZAB) Review  
Sends recommendation to Board of Mayor and Commissioners (BOMC).  
The process can defer by 1 month.

— Board of Mayor and Commissioners (BOMC) Meetings

1 <sup>st</sup> meeting Public Hearing and Work Session	2 <sup>nd</sup> meeting Regular Meeting and Vote
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The above process can defer the timeline by another month

METHOD For applications related to

### b Administrative Variance

Directly obtain zoning verification letter after 10 days



ZONING VERIFICATION LETTER

## 2 HISTORIC PRESERVATION REVIEW

(If applicable)

[Link to City HPC Application](#) [Link to Historic Guidelines](#)

Application requirements-

1. Site plan and scaled drawings of the proposed changes (refer to attached checklist).
2. A detailed narrative of the proposed project.
3. Materials checklist with all materials including windows and door changes.
4. Sample photos of windows, doors, and garage doors (if applicable).
5. Photos of the structure site to be modified
6. Photos of the structure as seen from the street

### Historic Preservation Commission (HPC) Online Application

Applications are due on the first Friday of each month for review in subsequent month.

### City Review

— The City reviews and sends recommendation letter to applicant one week in advance of the meeting

— The City also sends letters to abutting properties and posts in the legal organ

### Historic Preservation Commission (HPC) review

Meeting held on every first Monday of the month. The Commission can defer their vote by one month.



CERTIFICATE OF APPROPRIATENESS

Certificate of Appropriateness Denial

○ Appeal to the BOMC

## 3 PERMIT PROCESS

[Link to City Permit Portal](#)

The process includes four primary permit categories

### Tree Permit [Link to Tree Removal Permit App.](#)

requires - Current Tree Plan  
- Replanting Plan

### Land Disturbance Permit

### Building Permit (online)

Allow 10 business days for primary review and 5 days for subsequent reviews. Kindly anticipate at least 1 additional review.

### Demolition Permit

requires - Rodent Letter  
- Electricians Letter  
- Asbestos Letter

### County Approvals

County approvals are the sole responsibility of the applicants.

Approvals/ reviews required

- Parcel address/ replatting approvals
- Geographic Information System(GIS) Review
- External Fire Review

(for Restaurants only)

- Fats,Oils and Grease (FOG) approval
- Health Department Approval

### Pre-construction Meeting

Pre-Construction meeting with the City is required before starting construction.

### Inspections

Applicants are required to schedule an inspection.

### Post Construction Review

Applicants are required to schedule a session with the city.

○ Obtain the Certificate of Appropriateness Approval

CERTIFICATE OF OCCUPANCY  
OR  
CERTIFICATE OF COMPLETENESS



# Central Business Districts



CBD-1 Sub-Area Requirements		
● - permitted in CBD-1 Sub-Area		
Façade Types	Attached House	● Not permitted on Type A Streets.
	General	●
	Walk-Up	●
	Shopfront	●
Height	Minimum	Buildings shall be a minimum of 18 feet in height.
	Maximum	Five (5) stories or 70 feet, whichever is less. Abutting the CBD-2 Sub-Area or along 278, four (4) stories or 60 feet, whichever is less.
Stepback	Minimum	Buildings shall be stepped back in accordance with the Transitional Height Plane in <b>Section 3.2.12.B</b> .
Lot Coverage	Maximum Lot Coverage	85 percent (85%)
	Open Space	A minimum of ten percent (10%) of each development shall be Open Space.

CBD-2 Sub-Area Requirements		
● - permitted in CBD-2 Sub-Area		
Façade Types	Attached House	●
	General	●
	Walk-Up	●
	Shopfront	●
Height	Minimum	Buildings shall be a minimum of 18 feet in height.
	Maximum	Three (3) stories or 45 feet, whichever is less.
Stepback	Minimum	No stepback is required, but buffers shall apply where adjacent to R-zoned lots.
Lot Coverage	Maximum Impervious Coverage	85 percent (85%)
	Open Space	A minimum of ten percent (10%) of each development shall be Open Space.

CBD-3 Sub-Area Requirements		
● - permitted in CBD-3 Sub-Area		
Façade Types	Attached House	● Not permitted on Type A Streets.
	General	●
	Walk-Up	●
	Shopfront	● All building façades fronting Type A Streets and City parks shall be Shopfront Façades.
Height	Minimum	Buildings shall be a minimum of 18 feet in height.
	Maximum	Five (5) stories or 70 feet, whichever is less for buildings or portions of buildings within 300 feet of edge of railroad/MARTA rail line. Four (4) stories or 60 feet, whichever is less for all other locations and abutting CBD-2 Sub-Area.
Elevation	Maximum	In no case shall any building exceed the elevation of the Tudor Village (1094 feet), provided that a fluctuation of up to five (5) feet is permitted for buildings or portions of buildings within 300 feet of edge of railroad/MARTA rail line. Measurement to be taken from edge of rail, as opposed to the right-of-way.
Stepback	Minimum	Buildings shall be stepped back in accordance with the Transitional Height Plane in <b>Section 3.2.12.B</b> to ensure massing is appropriate adjacent to open spaces and R-zoned lots.
	Lot Coverage	Maximum Impervious Coverage
Open Space	A minimum of ten percent (10%) of each development shall be Open Space.	

## Zoning References

Section 3.2.9 - Façade Types

Section 3.2.8 - Streets and Blocks

Section 3.2.12.B - Transitional height plan; Division 6.4 - Transitional Buffers

Section 6.3.5 - Open Space

# 01

## BUILDING MASS + FORM

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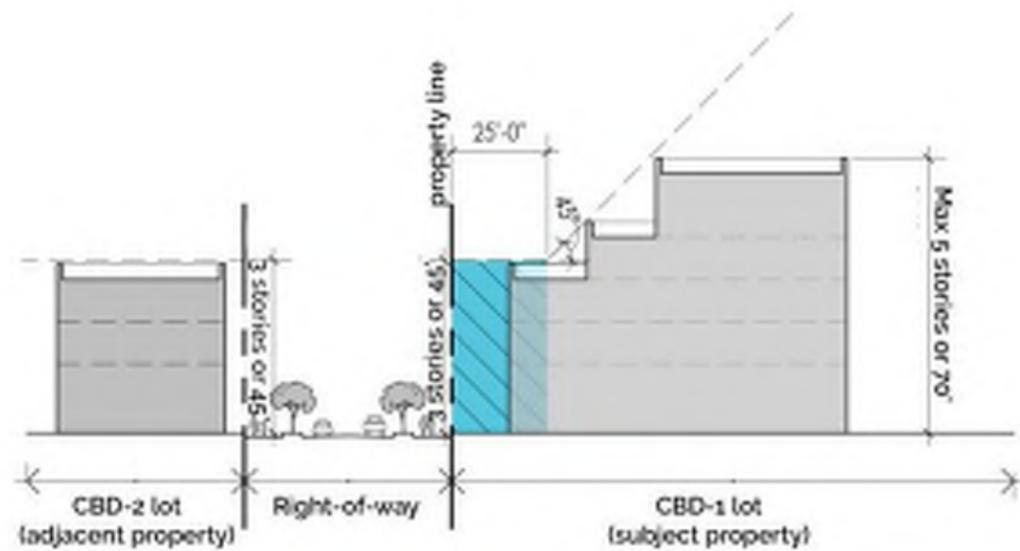
- Transitional Height Plane Massing Examples
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# 01 BUILDING MASS + FORM

## TRANSITIONAL HEIGHT PLANE

When adjacent to sensitive uses, the maximum height of all buildings or structures in the CBD shall be 45 feet or three (3) stories, whichever is less, for a horizontal distance of 25 feet from the property line in toward the subject lot. At the point 25 feet into the property, the height of the building can increase at a 45 degree angle up to a maximum height of 70 feet or five (5) stories, whichever is less, depending on the maximum height of the sub-area.

ZONING REFERENCE: See Section 3.2.12



Building massing as a result of a transitional height plane



## MASS + SCALE

All buildings both commercial and residential must abide by the height and facade requirements shown in Table 3.2.9.

ZONING REFERENCE: See Section 3.2.9



Prominent corner condition with stepped facade



Active corner condition on all levels with inserted balconies



Continuous material pallet with building massing treated to not appear as as single monolithic structure



Extrusion of sun rooms diffuses flat & monolithic appearance of facade.



Balance and rhythm of facade openings



Building step-back after 3<sup>rd</sup> level to balance scale at street level

## ROOF LINE + ROOF ACTIVATION

Building roof lines along street-facing facades shall change at least once every 200 feet of facade length. Rooftop activation is encouraged in the form of green roofs and small occupiable open spaces.

ZONING REFERENCE: See Section 3.2.10 D



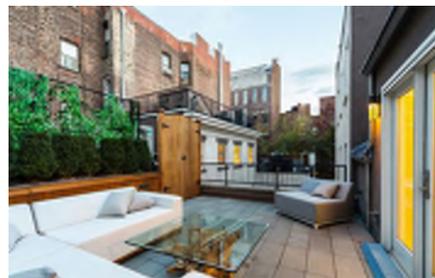
A balanced approach to varying roof heights & breaks



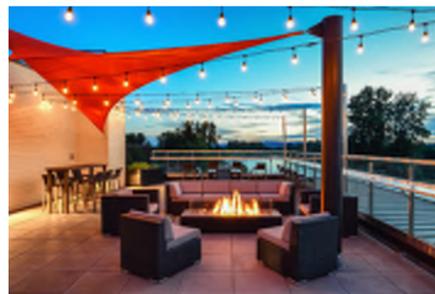
Recessed & dark colored rooftop amenity allows mass to read as only two levels



Break and step back in roof creates appearance of multiple building masses



Green roof as gathering space



Small roof top amenity spaces

## FACADE MATERIALS

Exterior wall finishes differ by Sub-Area District. Each Sub-Area District has primary and secondary materials. Primary materials shall be used on at least 70% of the facade, with secondary materials equaling up to 30% of the building facade. For a full list of materials, see section 3.2.10 c.

ZONING REFERENCE: See Section 3.2.10 C



Alternative to brick facade



Controlled deployment of brick



Vegetated wall & bump-outs as opportunity to play down brick



Dark brick as accent



Balanced approach to primary / secondary material relationship



Concrete as contrasting accent to brick & steel

# 02

## STREET LEVEL ARTICULATION

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- Entries
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# 02 STREET LEVEL ARTICULATION

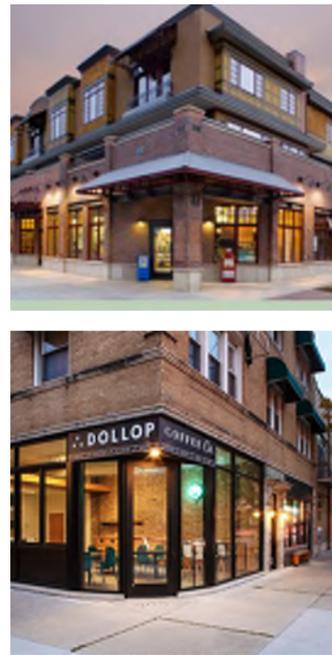
## STOREFRONT ARTICULATION

The Shopfront façade is intended for use as a mixed-use building located close to the sidewalk. The most distinctive element of this Façade Type is the ground floor façade with large amounts of storefront glass, regularly spaced entrances, and intricate architectural elements present in existing historic storefronts, typically for retail and service uses.

ZONING REFERENCE: See Section 3.2.10



Activated corner storefront condition



Simple but effective storefront



Building facade works as a whole to signify entry to storefront



Recessed entry allows for transition from sidewalk

## ENTRIES

The ground story of all shopfront façades in CBD-2 and CBD-3 shall contain the following elements: Cornice / Articulate Floor Line, Sign Board, Transom, Recessed Entry, Display Windows and Fenestration.

ZONING REFERENCE: See Section 3.2.9



At-grade entry along sloped sidewalk



Active corner condition on all levels



Recessed entry



At-grade ground floor shop entries along sloped sidewalk



Recessed entry

## SUPPLEMENTAL ZONES

. In general, streetscapes shall consist of a landscape zone, sidewalk zone, and in some cases, a supplemental zone, dependent on Table 3.2.8.E - Streetscape Dimensions.

ZONING REFERENCE: See Section 3.2.8 E



Outdoor seating with bi-secting clear walkway zone



Vegetated transition for residential entries



Outdoor seating facing street



Outdoor shop displays and art



Intentionally designed buffer between walkway and outdoor seating with low plantings



Rain water collection on display

## SIGNAGE

Building signs include wall, projecting, and awning sign types. All signs must meet Chapter 22- Sign Regulations. See sign code regarding method of attachment, location, height, sign area and quantity, projection from walls, and illumination.

ZONING REFERENCE: See Chapter 22- Sign Regulations



Thematic sign and entry



Elegantly lit sign, pedestrian focused



Signage oriented toward sidewalk



Signage scale balanced with size of awning



Projected sign facing sidewalk



Minimalist sign effectively facing sidewalk and street

## BLANK WALLS

Blank wall area applies to ground and upper story façades visible from a street (not including an alley) or open space. There shall be no more than 20 feet of blank wall area. Blank wall area can be broken up or interrupted to meet these provisions with any one of the interventions listed in section 3.2.10 E.

ZONING REFERENCE: See Section 3.2.10 E

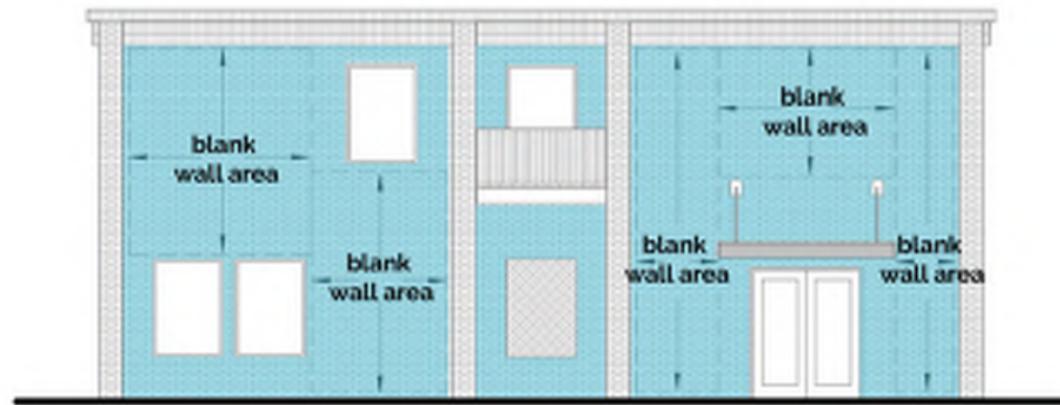
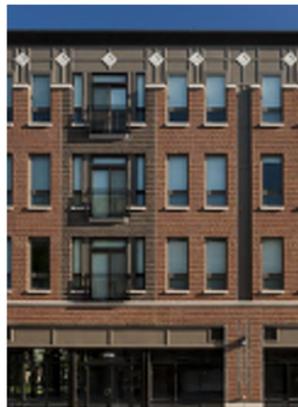


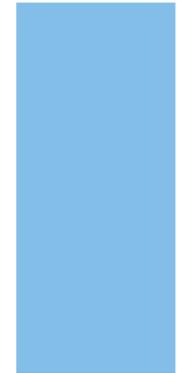
Figure 3.2.9 E - Blank Wall Area



## SERVICE AREAS

All equipment shall be located to the side or rear of the principal structure or on the roof and shall be in the location of least visible from the public right-of-way. Screening with plant or fence materials shall be required if the equipment is otherwise visible from any public space or public right-of-way.

ZONING REFERENCE: See Division 6.6



# 03

## OPEN SPACE

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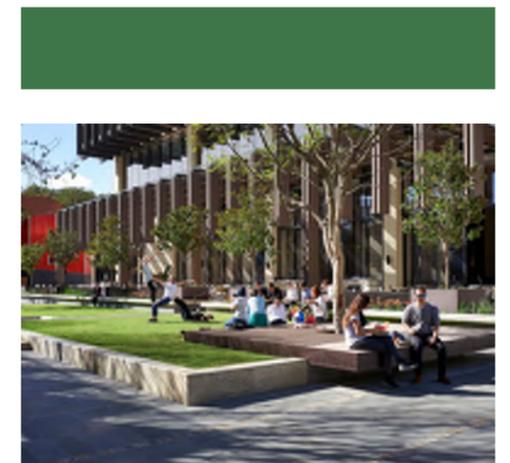
- Open Space Examples

# 03 OPEN SPACE

## OPEN SPACE EXAMPLES

On-site open space shall be provided for all development sites except single-family detached dwellings that are single-lot developments. Open spaces must meet minimum open space ratios and meet general requirements outlined in Section 6.3.5.

ZONING REFERENCE: See Section 6.3.5



# 04

## STREETSCAPE

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- Landscape Standards

# 04 STREETScape



## Shared Streets



## B Streets

### B.1 Street

Key multimodal streets connecting Northern Gateway & Stone Mountain Trail to Town Green / Rail Arts District.

- Green infrastructure encouraged in landscape zone or Supplemental Zone. See District Stormwater Framework Plan for locations.
- Multi-use trail to be along west side of Laredo Dr., along south side of Washington St., Perry St. extension, east side of new street between Maple St. & Olive Street.
- In order to accommodate the multi-use trail, on-street parking for Laredo Drive is recommended on only one side of the street or not at all.



### B.2 Street

Typical Walkable Street for new street grid footage.

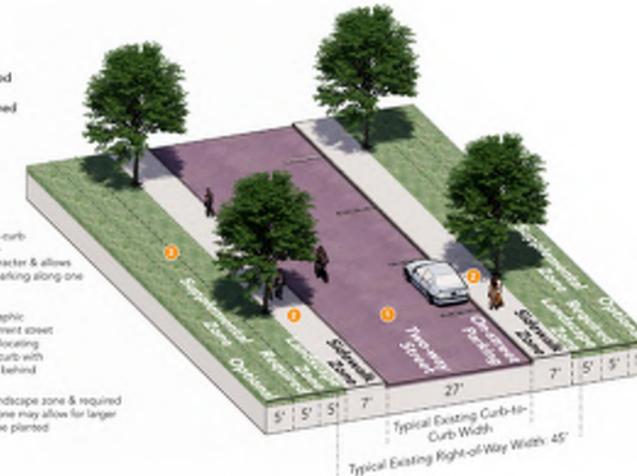
- Green infrastructure encouraged in landscape zone or Supplemental Zone. See District Stormwater Framework Plan for locations.



### B.3 Street

Pedestrian focused street within existing constrained conditions.

- Existing curb-to-curb creates intimate streetscape character & allows for formalized parking along one side.
- Existing topographic conditions & current street design support locating sidewalk along curb with landscape zone behind.
- Adjacency of landscape zone & required supplemental zone may allow for larger shade trees to be planted.



## C Streets

### C.1 Street

New street with access and low-traffic focus.

- Green infrastructure encouraged in landscape zone or Supplemental Zone. See District Stormwater Framework Plan for locations.



### C.2 Street

Street with access focus along areas prone to larger development.

- Existing curb-to-curb widths & limited R.O.W. allow for parking on one side only.
- Implementation of full streetscape will need to extend beyond R.O.W. with as new development occurs.



### C.3 Street

Existing street with access focus. Part of Rail Arts District Character.

- Existing "slow" street design with flexible parking to remain given existing curb-to-curb widths.
- Existing topographic conditions & current street design support locating sidewalk along curb with landscape zone behind.



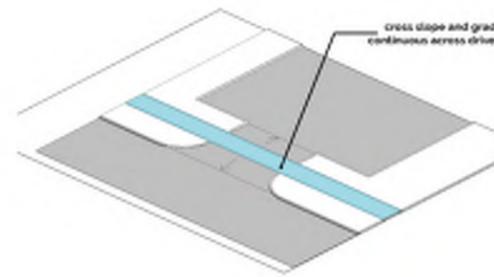
# 04 STREETScape

## FURNITURE STANDARDS

Benches, trash receptacles, and bike racks shall be placed within the supplemental zone. Other amenities are permitted, such as seat walls, provided they meet the intent and dimensional requirements of the supplemental zone. Such features shall be provided at a ratio of not less than one (1) bench, one (1) trash and one (1) recycling receptacle, and one (1) bike rack per 300 feet of street frontage, or portion thereof. Property owners may suggest a product of their choosing for City review and approval.

## HARDSCAPE STANDARDS

The sidewalk zone starts at the inner edge of the landscape zone and extends inward (toward the lot) for the minimum distance and no more than the maximum distance indicated in Table 3.2.8.E - Streetscape Dimensions. This area is intended exclusively to accommodate unimpeded pedestrian movement. Sidewalk Zones shall be paved in concrete, unless otherwise approved by the City, and kept clear and unobstructed for the safe and convenient use of pedestrians. There shall be a minimum ten (10) feet vertical clearance maintained on all sidewalk zones. Paving materials shall be continued across any intervening driveway at the same prevailing grade and cross slope as on the adjacent pedestrian zone area.



## LIGHTING CONDITIONS

Streetlights shall be located within the landscape zone and spaced a distance consistent with the Downtown Avondale Estates Street Grid Plan. Typical streetlight (outside of US 278), shall be 'Edge' series by Cree Lighting or equivalent. Streetlights on US 278 shall be consistent with existing lights, Lumec Roadfocus LED Cobra Head Medium. See zoning for lighting spacing.



Lumec RoadFocus

### Other Permitted Lighting Opportunities

Integrated Seat Wall Lights

Pedestrian Path Lights

Tree Up-lighting / Moon Lighting

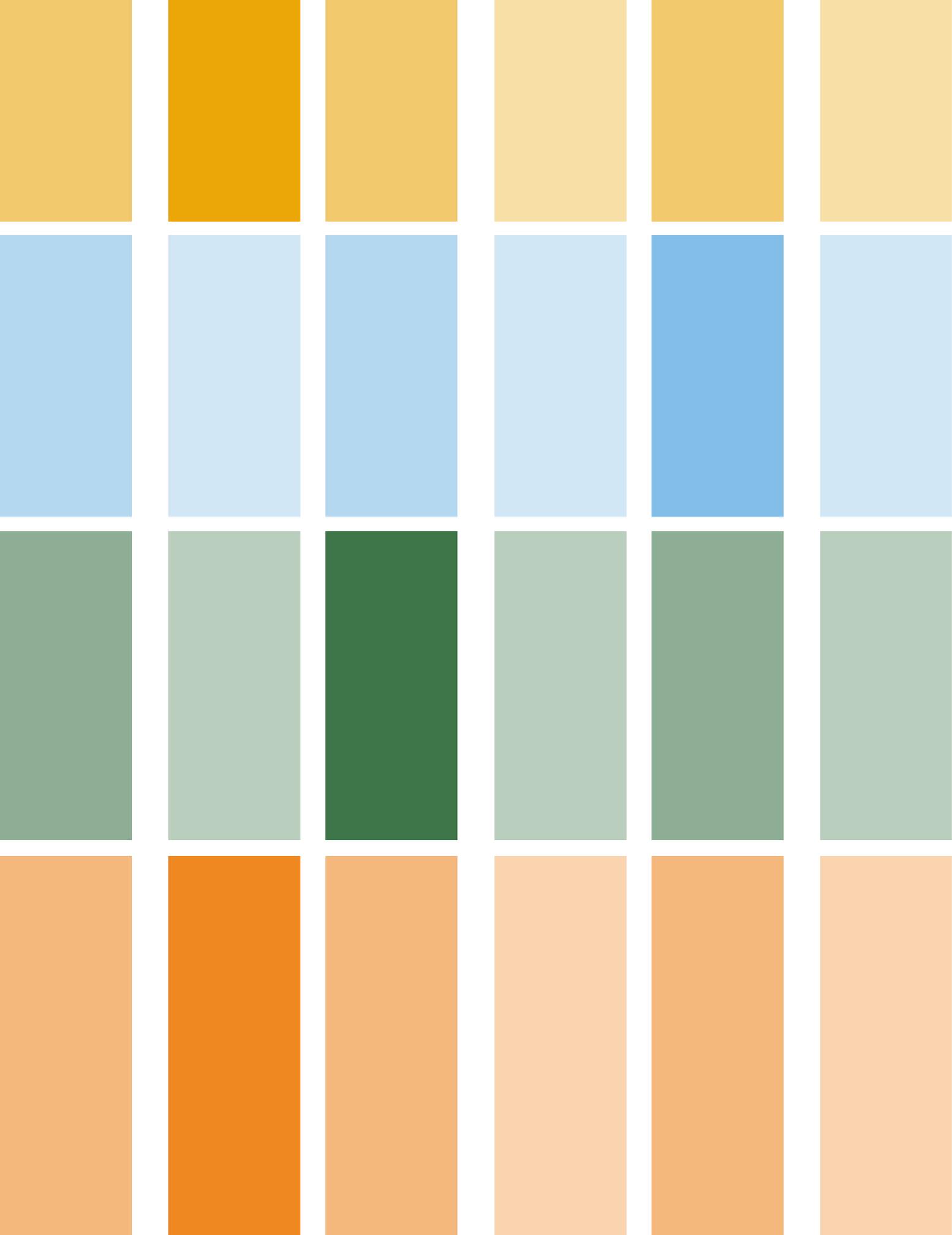


'Edge' by Cree Lighting

## LANDSCAPE STANDARDS

The landscape zone starts at the back of the curb and extends inward (toward the lot) for the minimum distance and no more than the maximum distance indicated in Table 3.2.8.E - Streetscape Dimensions. This area is generally intended to accommodate trees, plants, lights, and similar landscape elements. Required street trees are identified by corridor in the Downtown Avondale Estates Street Grid Plan. Landscape zones shall be planted with grass, ground cover, or flowering plants.





CITY OF AVONDALE ESTATES



# LOOK BOOK

February 2023