

**Applicant:** Jacquelynn Edmonds

**Property Address:** 28 Exeter Road

**Property Type:** Residential, Preservation Designation

**Project Summary:** The proposed project for this 1930 Colonial Revival-style American Small House consists of (1) construction of a new addition with basement garage on the house's rear elevation; (2) removal of the nonhistoric door and windows in the mudroom at the house's front corner and replacement with new windows and solid wall infill; (3) repair/replacement of existing front-elevation dormers; and (4) replacement of the existing driveway and extension of the driveway to the new basement garage.

**Applicable Guidelines:** *Historic District Guidelines, Preservation Designation Properties – Porches, p. 26; Windows, p. 28; Additions, p. 31; Site & Setting, pp. 32-33; Materials, p. 35.*

**Analysis:** The project proposes to (1) construct a new addition with basement garage on the house's rear elevation. The existing rear elevation has an uncovered wood deck that will be removed for the new rear addition. The majority of the existing rear wall at the house's main floor level will be removed and replaced with new interior walls. The new rear addition will consist of a main level of living space with a basement garage. The addition will have a rear-gabled roof finished with asphalt shingles, and its exterior walls and foundation walls will be finished with painted brick veneer to match the house's existing painted brick exterior. Windows in the new addition will be wood, 6-over-6, double-hung windows to match existing windows. A screened porch and open wood deck will be constructed at the rear of the new addition. Entry to the basement garage will be from the addition's rear elevation and under the new screened porch and deck.

The project also proposes to (2) remove the nonhistoric door and windows in the mudroom at the house's front corner and replace them with new windows and solid wall infill. The existing mudroom may have been originally constructed as an open or screened porch, evidenced by the large openings on three sides and the concrete slab floor. The openings have been infilled with a nonhistoric entrance door with sidelights on the front elevation and with aluminum sliding windows and wood paneling on the side and rear elevations. The nonhistoric door and sidelights, windows, and wood paneling will be removed. The openings will then be infilled with double-hung wood windows surrounded by solid walls finished with painted brick veneer to match the existing painted brick walls.

The project also proposes to (3) repair and/or replace the existing front-elevation dormers. The two front dormers are front-gabled with round-arched wood windows. The wood windows are fixed with 3 single lights. The dormers' front elevations are finished with smooth boards while the sides are finished with horizontal lapboard. The dormers will be repaired and/or replaced with in-kind materials as needed.

The project also proposes to (4) replace the existing driveway and extend the driveway to the new basement garage. The existing concrete driveway extends from the street along the house's side elevation and behind the house. A concrete parking area was previously added adjacent to the driveway in the front yard. The existing driveway and front-yard parking addition will be removed. A new concrete driveway will be constructed in the same location as the original driveway. It will extend from the street along the house's side elevation, past the new rear addition, then curve and widen to allow access to the rear-elevation entry of the new basement garage. The new driveway will have a center grass strip from the existing front walkway to the rear of the new screened porch behind the house.

*The Historic District Guidelines for Additions on Preservation Designation* properties state that additions shall be limited to rear elevations and the rear half of side elevations of the primary structure. The roof and floor elevations of additions shall never exceed the elevation of those of the primary structure. Additions shall not exceed an 80% increase of the house's original footprint. Lot coverage including all impervious elements shall not exceed 40% of the total lot. Additions shall be constructed of materials found on the primary structure, and a visible juncture shall be provided between the new and existing. The proposed addition will be located on the house's rear elevation. The addition will be set back 8 inches on one side and 2 feet on the other side. The addition's rear-gabled roof elevation will be below that of the house's main roof. The 963 SF addition is below 80% of the house's original 1,374 SF footprint. The site plan shows the existing lot coverage to be 26.4%; the proposed lot coverage will be 39.9%. The addition's new painted brick veneer will match the existing painted brick veneer. A visible juncture will be provided with the addition's setbacks and with the addition's brick foundation walls. Besides the setbacks and foundation walls, the addition's finish materials should be slightly differentiated from the house's original materials; for example, the new brick veneer might use bricks with a different texture. The proposed new addition meets the guidelines.

*The Historic District Guidelines for Porches on Preservation Designation* properties state that all original front and side porches shall be protected, maintained and shall not be removed or altered. Side porches may be enclosed with glazing or screening set behind the primary railings or decorative elements. Other historic elements shall be maintained when adding glazing or screening. While the original porch openings have been previously infilled with a door and windows, these openings are significant historic elements of the house's original design and should not be infilled with solid walls and brick veneer. Because they are part of a side porch, these openings may be enclosed with windows or screening, but the original openings and the concrete floor slab should remain visible to maintain the appearance of these historic porch elements. If other historic elements of the porch are uncovered, such as railings or knee walls, they should also be left intact.

The *Historic District Guidelines for Windows in Preservation Designation* properties state that all attempts should be made to protect, maintain, and repair original historic windows. When windows are determined to be beyond repair, replacement is allowed. Based on photos in the application, the dormers have elements that need repair and/or replacement. The elements should be repaired to the extent possible but may be replaced with in-kind materials if needed. Repair and/or replacement of dormer elements meets the guidelines.

The *Historic District Guidelines for Materials on Preservation Designation* properties state that original exterior finishes and structural members shall be protected and maintained and shall not be removed or altered. Repair original elements to the extent possible before replacement. No new synthetic materials may be used on the original portions of a Preservation Designation property. All new additions shall be constructed of materials found on the original home. The proposed in-kind replacement materials on the dormers, and the painted brick veneer and wood windows of the rear addition, meet these guidelines. Materials used for the enclosure of the side porch openings should not be synthetic but should match historic materials.

The *Historic District Guidelines for Site & Setting at Preservation Designation* properties state that driveways shall be a maximum of 12' wide; width above 12' is allowed beyond 20' of the house's front elevation. Driveways shall connect via one side of the house from the front yard. Parking areas shall be located within the allowed driveway width or to the rear of the house. Allowed materials include plain or aggregate-finish concrete. The proposed concrete driveway will be the same width (8'-2") and in the same location as the existing driveway, with the addition of a center grass strip, and will widen to allow access to the garage and parking at the house's rear. The proposed driveway meets the guidelines.

**Recommendation:** Based on the *Historic District Guidelines for Preservation Designation* properties, the project is recommended with the following stipulations:

- Do not infill the original porch openings in the mudroom; instead, enclose the porch in a manner that allows for the porch openings and concrete floor slab to remain intact and visible. Keep intact any other historic porch elements that may be uncovered. Materials used for enclosure of the porch should match historic materials.
- Choose finish materials for the addition that are slightly different from the house's original materials; for example, the new brick veneer might use bricks with a different texture.

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\*Reviewed by WLA Studio. This review is based on materials received by the applicant at the time of review. New information from the applicant and/or a site visit to the subject property may amend the recommendation.

**Historic Preservation  
Commission Application for  
Certificate of Appropriateness  
COA**



21 North Avondale Plaza  
Avondale Estates, Georgia 30002  
Ph: (404) 294-5400  
Fx: (404) 299-8137  
[www.avondaleestates.org](http://www.avondaleestates.org)

**APPLICANT INFORMATION**

Applicant Name: Jacquelynn Edmonds	Address/City/Zip Code: 2060 Shaffer Road, Cumming, GA 30041
Phone: 404-944-9727	Email: jedmonds@animusarchitecture.com

Project Address:  
28 Exeter Road, Avondale Estates, GA 30002

If applicant is representing homeowner at the meeting, a notarized statement from the homeowner must be submitted with the application giving applicant permission to represent homeowner.

Applicant Signature: *J. Edmonds* Date: 11/25/25

**PROPOSED PROJECT:**  Residential  Commercial

New Construction  Renovation/Repair  Demolition

Description of Project:  
Repair of two front dormers, removal of non original door and windows at southwest corner  
~~rear addition of two car back-entry garage at basement level with heated floor area on main floor.~~  
new driveway, new back screened porch and uncovered deck.

**ATTACHMENTS  
(Refer to attached checklist for further details)**

- Site plan and scaled drawings of the proposed changes  
(Dimensioned site plan, Dimensioned floor plan(s), Material Samples, Material Details, Color Samples, Street Elevation, Side Elevation).
- A detailed narrative of the proposed project.
- Materials checklist with all materials including windows and door changes.
- Sample photos of windows, doors, and garage doors (if applicable).
- Photos of the structure site to be modified.
- Photos of the structure as seen from the street.
- Electronic copy of application packet must be submitted to: [lleland@avondaleestates.org](mailto:lleland@avondaleestates.org)

Comments:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Application will be reviewed by the Avondale Estates Historic Preservation Commission and  
Approved or Denied within 45 days of the submittal date**

**FOR OFFICE USE ONLY**

DATE APPLICATION SUBMITTED:	APPLICATION RECEIVED BY:	TIER DESIGNATION <input type="checkbox"/> Preservation <input type="checkbox"/> Adaptation <input type="checkbox"/> Conservation <input type="checkbox"/> Construction	HPC MEETING DATE FOR APPLICATION:	PARCEL ID#
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Jacquelynn Edmonds, RA  
[Jacque.edmonds@animusarchitecture.com](mailto:Jacque.edmonds@animusarchitecture.com)  
404.944.9727

November 25, 2025

Re: Renovation and Addition for 28 Exeter Road, Avondale Estates

Detailed Description of Proposed Project:

Existing unfinished basement to have new finished office, laundry, flexible space, guest bedroom and full bathroom. Back addition at basement level to have a new two car back-entry garage.

Existing first floor renovation to include removing non-historic door and windows from "Mudroom" at southwest front corner and replacing with windows matching others on front and driveway side wall. Back addition will have relocated kitchen, family room, and primary bedroom ensuite. A new covered screened porch and uncovered deck will be added to the back of the house addition.

Existing finished attic space to have dividing wall removed and addition of new bathroom. Front rotted dormers to be replaced/ repaired in-kind. All new windows will be of same material and style of existing.

Pictures of existing structure, existing windows, dormer to be repaired, and new window product data follow this project description cover.

If any additional information is needed, please contact me at the e-mail or phone number above.

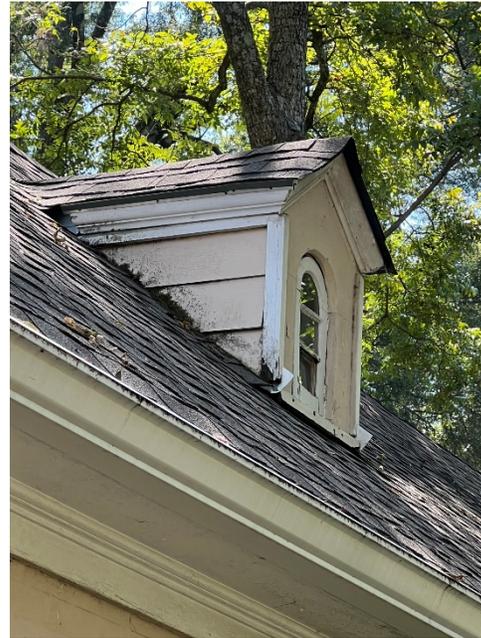
Thank You,

Jacquelynn Edmonds, R.A.

A handwritten signature in cursive script that reads 'J. Edmonds'.



**FRONT OF HOUSE**



**FRONT GABLES TO BE REPAIRED**



**NON-ORIGINAL DOOR TO BE REMOVED**



**NON-ORIGINAL WEST SIDE WINDOW  
AND PLYWOOD PANEL SIDING TO BE  
REMOVED**



**NON-ORIGINAL SOUTH (BACK) WINDOW  
AND PLYWOOD PANEL SIDING TO BE  
REMOVED**



**WEST SIDE**



**WEST SIDE BASEMENT WINDOW  
TO BE REPLACED**



**BACK OF HOUSE**



**EAST SIDE OF HOUSE**

# DOUBLE HUNG WOOD WINDOWS



## MADE IN GEORGIA

Exclusively manufactured by BFS at our fully integrated plant in Marietta Georgia, we make the glass, the frame and the sash. BFS warrants the window against seal failure. IGMA Certified/Insulated Glass Manufacturers Alliance. TRU-CORE 30 year limited warranty on all sash, frame and trim components.



**PLOUGHED FINGER LIFTS TOP & BOTTOM RAIL  
ARCHITECTURALLY CORRECT FULL 3" BOTTOM RAIL  
ARCHITECTURALLY CORRECT TOP TO BOTTOM STILES**

### FRAME:

- 4-9/16" Standard Jamb
- Primed Ponderosa Pine Exterior
- Primed Brick Mould Exterior Casing
- 30 Year TRU-CORE Warranty on all frame parts

### SASH:

- 9/16" LOE 366 Cardinal Insulated Glass
- 1/1, SDL, or S-TDL (Inset 3)
- Double Bedded and Stop Glazed for Strength and Durability
- Ponderosa Pine-Primed Exterior
- High Performance Filled and Unfilled Bulb Weather-strip
- Installed Forced Entry Cam Locks
- Limited 10 Year Warranty Against Seal Failure
- 30 Year TRU-CORE Warranty on all sash parts

### OPTIONS AVAILABLE:

- GBG— Bronze & White Grilles Between the Glass
- SDL—Simulated Divided Lite Your Choice of 7/8" or 1-3/8"
- Paintable – heat resistant SDL Bars
- Stationary and Picture Units
- Rectangular Transoms
- True Radius, Segment Transoms, Stationary, or Picture Units
- Special Wood and PVC Casings\*
- Wide Mulls
- Historic Sill
- Tempered Glass
- Sash locks available in white, bronze and black



Adjustable Balance Shown



Heavy Duty Sash Pins Shown



INSET 3: Shown with Optional S-TDL—Simulated True Stain Grade Wood Divided Lite with Interior Bar

## OUR MISSION

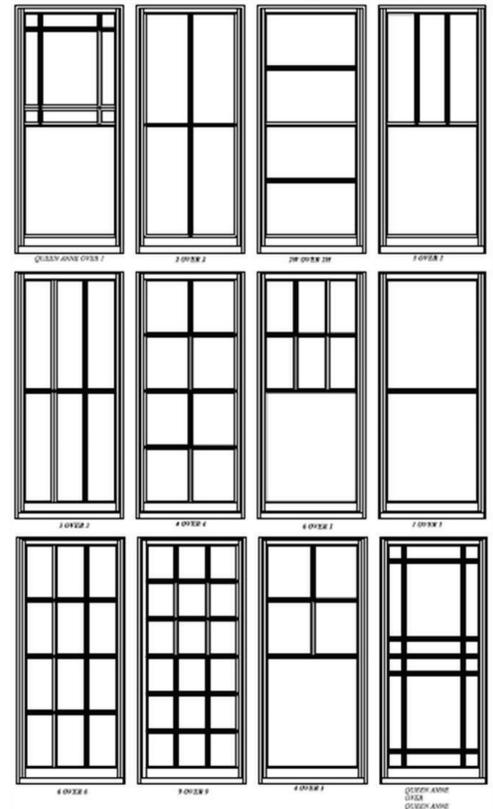
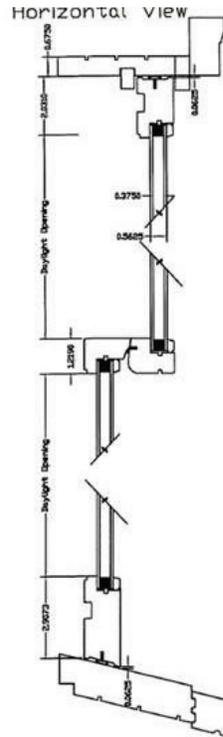
DELIVER WHAT YOU NEED,  
WHEN YOU NEED IT,  
EXACTLY HOW YOU WANT IT.

# DOUBLE HUNG WOOD WINDOWS

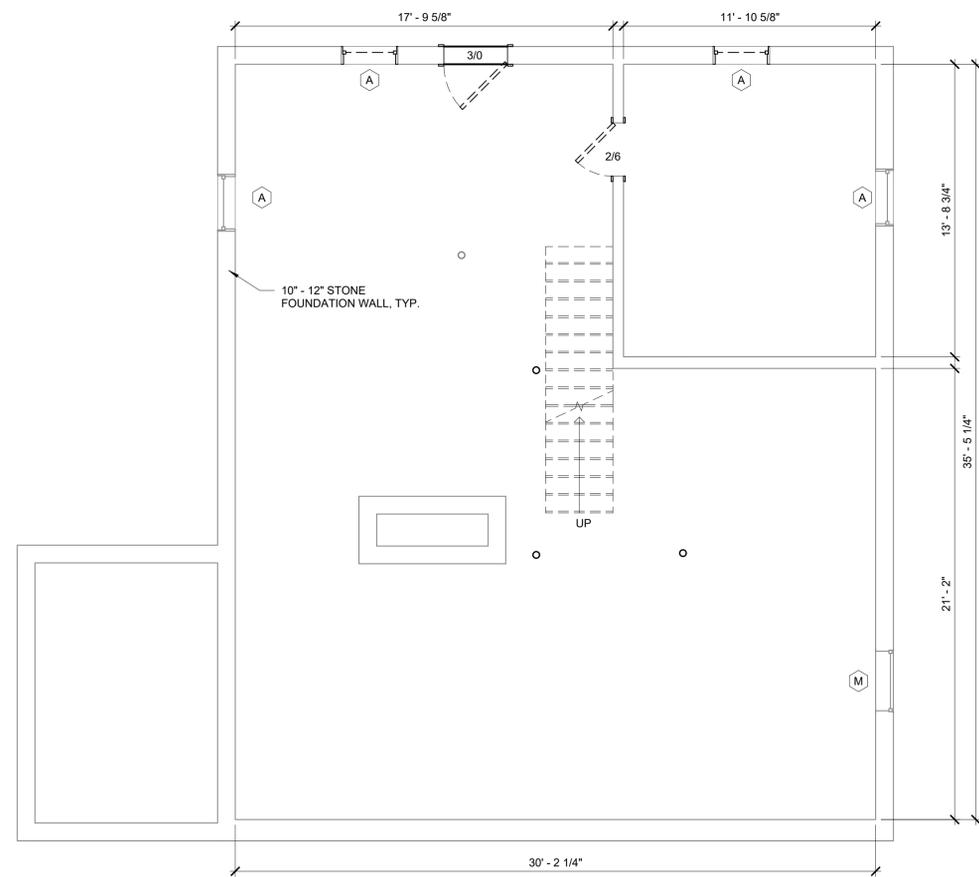
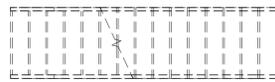


## ROUGH OPENING DIMENSIONS

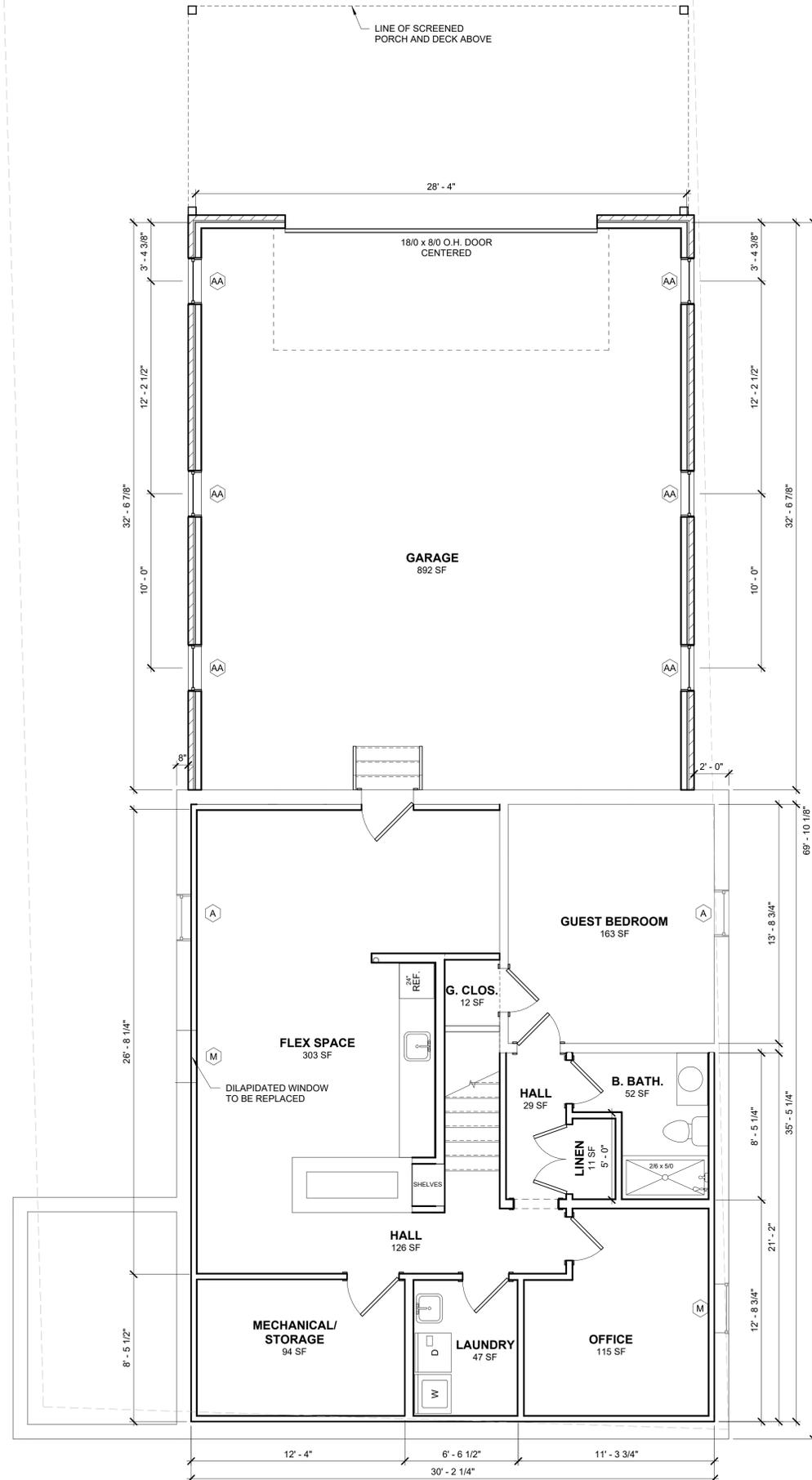
Size	Single	Twin Width	Triple Width	Trans Height	12" Trans Height	Single True Radius	Twin True Radius	4" SPREAD VERT MULLS			5-1/2"		SPREAD VERTICAL	
								Size	Twin	Triple	Twin	Triple		
2/0 x 3/2	26x42	52 x 42	77x42	53	55	55	68	2/0 x 3/2	54x42	82x42	55-1/2x42	85x42		
2/0 x 3/10	26x50	52 x 50	77x50	61	63	63	76	2/0 x 3/10	54x50	82x50	55-1/2x50	85x50		
2/0 x 4/6	26x58	52 x 58	77x58	69	71	71	84	2/0 x 4/6	54x58	82x58	55-1/2x58	85x58		
2/0 x 5/2	26x66	52 x 66	77x66	77	79	79	92	2/0 x 5/2	54x66	82x66	55-1/2x66	85x66		
2/0 x 6/2	26x78	52 x 78	77x78	89	91	91	104	2/0 x 6/2	54x78	82x78	55-1/2x78	85x78		
2/4 x 3/2	30x42	60 x 42	89x42	53	55	57	72	2/4 x 3/2	62x42	94x42	63-1/2x42	97x42		
2/4 x 3/10	30x50	60 x 50	89x50	61	63	65	80	2/4 x 3/10	62x50	94x50	63-1/2x50	97x50		
2/4 x 4/6	30x58	60 x 58	89x58	69	71	73	88	2/4 x 4/6	62x58	94x58	63-1/2x58	97x58		
2/4 x 5/2	30x66	60 x 66	89x66	77	79	81	96	2/4 x 5/2	62x66	94x66	63-1/2x66	97x66		
2/4 x 6/2	30x78	60 x 78	89x78	89	91	93	108	2/4 x 6/2	62x78	94x78	63-1/2x78	97x78		
2/8 x 3/2	34x42	68 x 42	101x42	53	55	59	76	2/8 x 3/2	70x42	106x42	71-1/2x42	109x42		
2/8 x 3/10	34x50	68 x 50	101x50	61	63	67	84	2/8 x 3/10	70x50	106x50	71-1/2x50	109x50		
2/8 x 4/6	34x58	68 x 58	101x58	69	71	75	92	2/8 x 4/6	70x58	106x58	71-1/2x58	109x58		
2/8 x 5/2	34x66	68 x 66	101x66	77	79	83	100	2/8 x 5/2	70x66	106x66	71-1/2x66	109x66		
2/8 x 6/2	34x78	68 x 78	101x78	89	91	95	112	2/8 x 6/2	70x78	106x78	71-1/2x78	109x78		
3/0 x 3/2	38x42	76 x 42	113x42	53	55	61	80	3/0 x 3/2	78x42	118x42	79-1/2x42	121x42		
3/0 x 3/10	38x50	76 x 50	113x50	61	63	69	88	3/0 x 3/10	78x50	118x50	79-1/2x50	121x50		
3/0 x 4/6	38x58	76 x 58	113x58	69	71	77	96	3/0 x 4/6	78x58	118x58	79-1/2x58	121x58		
3/0 x 5/2	38x66	76 x 66	113x66	77	79	85	104	3/0 x 5/2	78x66	118x66	79-1/2x66	121x66		
3/0 x 6/2	38x78	76 x 78	113x78	89	91	97	116	3/0 x 6/2	78x78	118x78	79-1/2x78	121x78		
4/0 x 3/2	50x42			53	55	67								
4/0 x 3/10	50x50			61	63	75								
4/0 x 4/6	50x55			69	71	83								
4/0 x 5/2	50x66			77	79	91								
4/0 x 6/2	50x78			89	91	103								
5/0 x 3/2	62x42			53	55	73								
5/0 x 3/10	62x50			61	63	81								
5/0 x 4/6	62x58			69	71	89								
5/0 x 5/2	62x66			77	79	97								
5/0 x 6/2	62x78			89	91	109								
6/0 x 4/6	74x58			69	71	95								
6/0 x 5/2	74x66			77	79	103								
6/0 x 6/2	74x78			89	91	115								



NFRC Factor Results			
Window	U Value	SHGC	VT
Type	Low E	Low E	Low E
Operatable IG	0.34	0.21	0.49
Operatable GBG	0.32	0.19	0.44
Operatable SDL	0.32	0.19	0.44
Fixed IG	0.33	0.22	0.5
Fixed GBG	0.35	0.2	0.44
Fixed SDL	0.35	0.2	0.44



1 EXIST. / DEMO. BASEMENT PLAN - 1,070 SF  
1/4" = 1'-0"



2 PROPOSED BASEMENT PLAN - 975 HSF  
1/4" = 1'-0"



EXISTING/ DEMOLITION AND PROPOSED BASEMENT PLANS

THE PORTER RESIDENCE

28 EXETER ROAD, AVONDALE ESTATES, GEORGIA 30002

A1.0

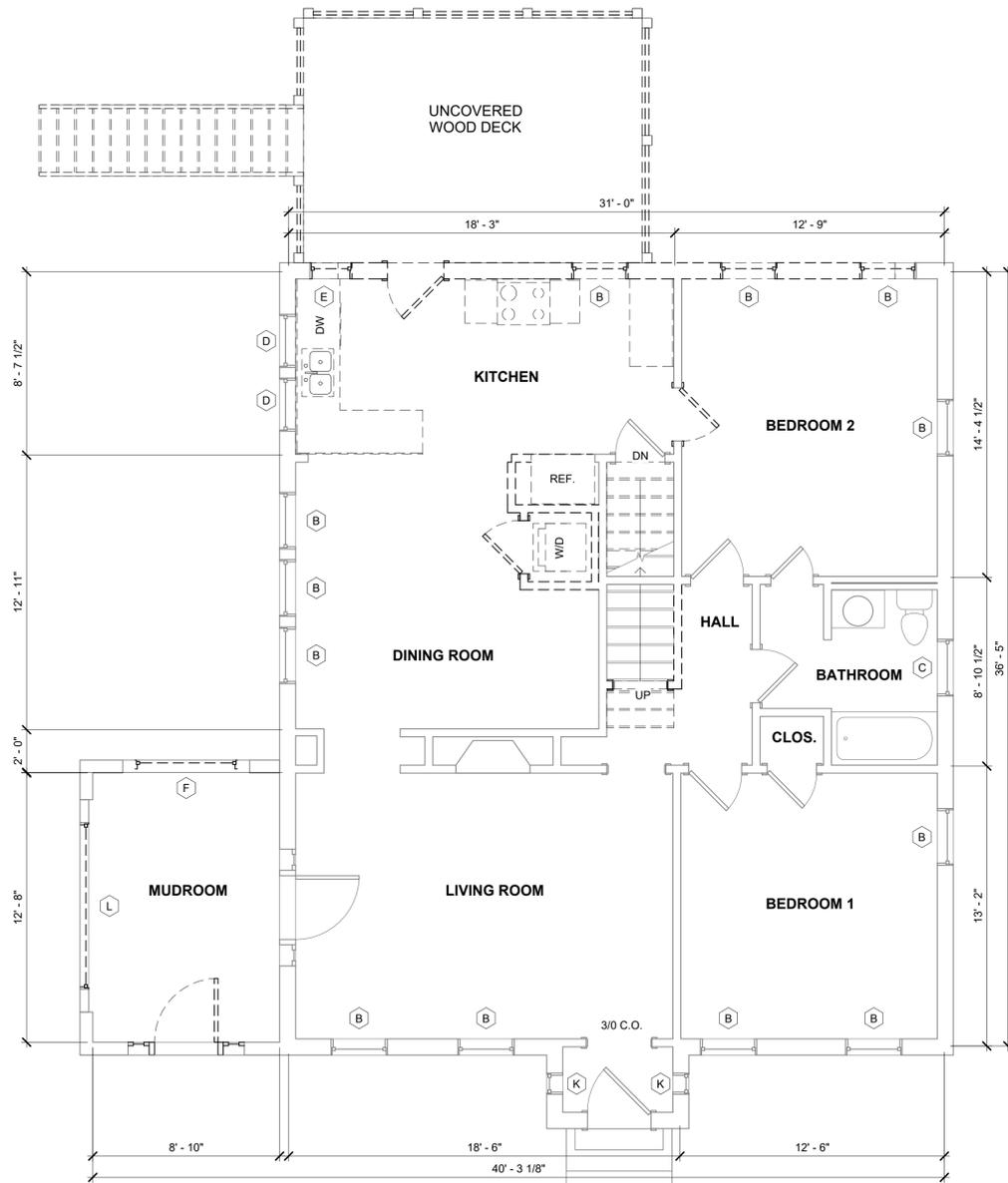
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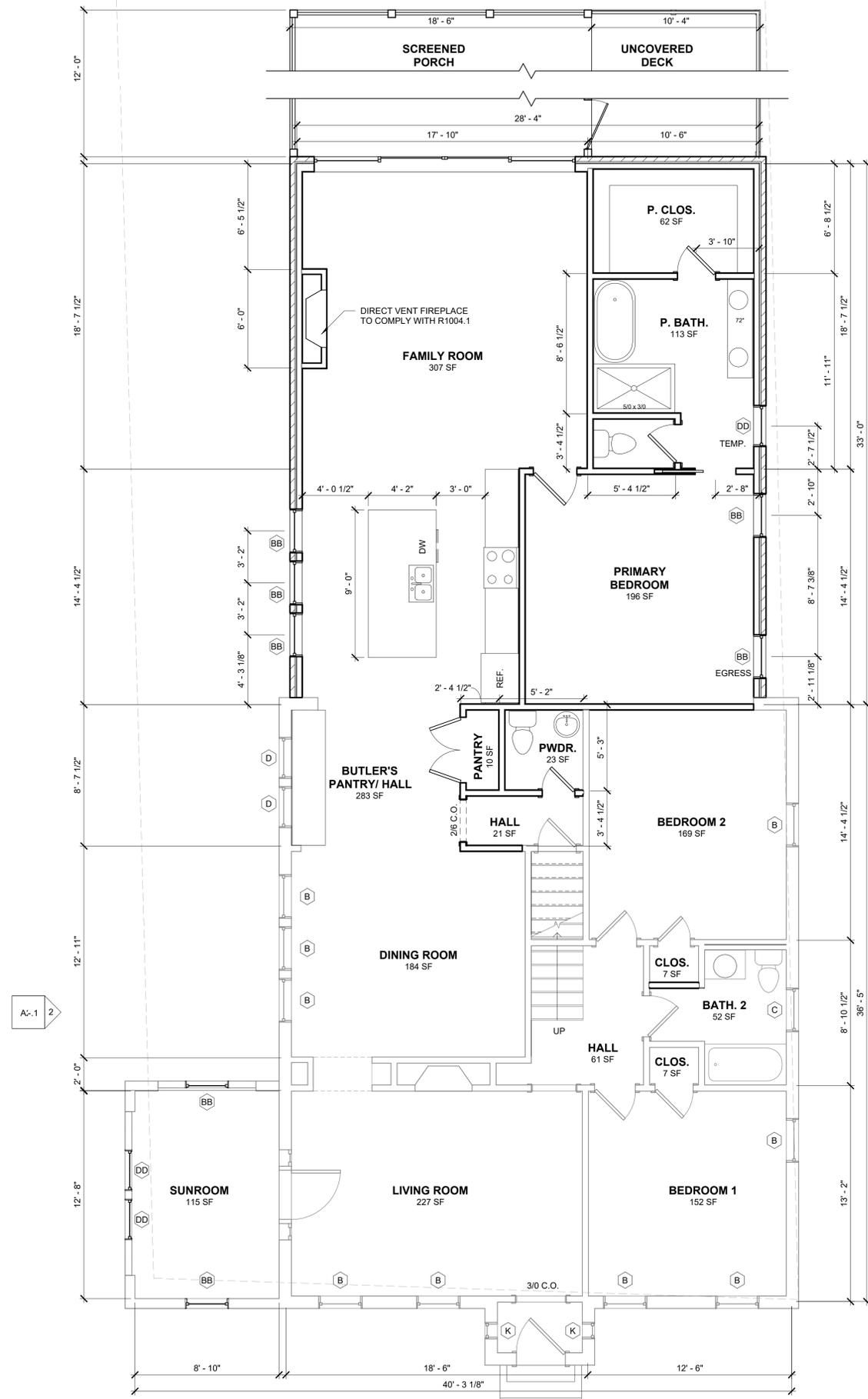
DATE: NOV. 25, 2025  
 DRAWN BY: J. Edmonds, RA  
 SCALE: 1/4" = 1'-0"

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REVISED:  
 24-HOUR CONTACT: IAN PORTER 229.407.0400



1 EXIST. / DEMO. FIRST FLOOR PLAN - 1,276 HSF  
1/4" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN - 2,211 HSF  
1/4" = 1'-0"



NOT RELEASED FOR PERMIT

REVISER: ANIMUS ARCHITECTURE

DATE: NOV. 25, 2025

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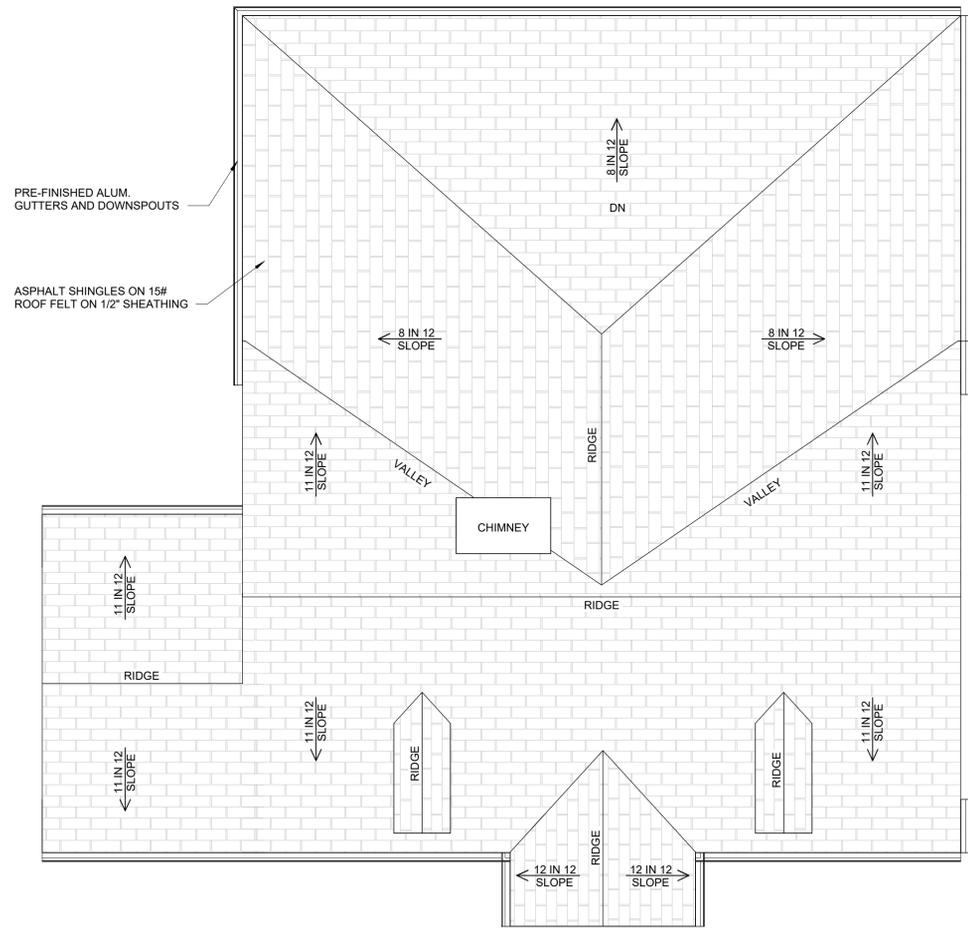
EXISTING/ DEMOLITION AND PROPOSED FIRST FLOOR PLANS

THE PORTER RESIDENCE

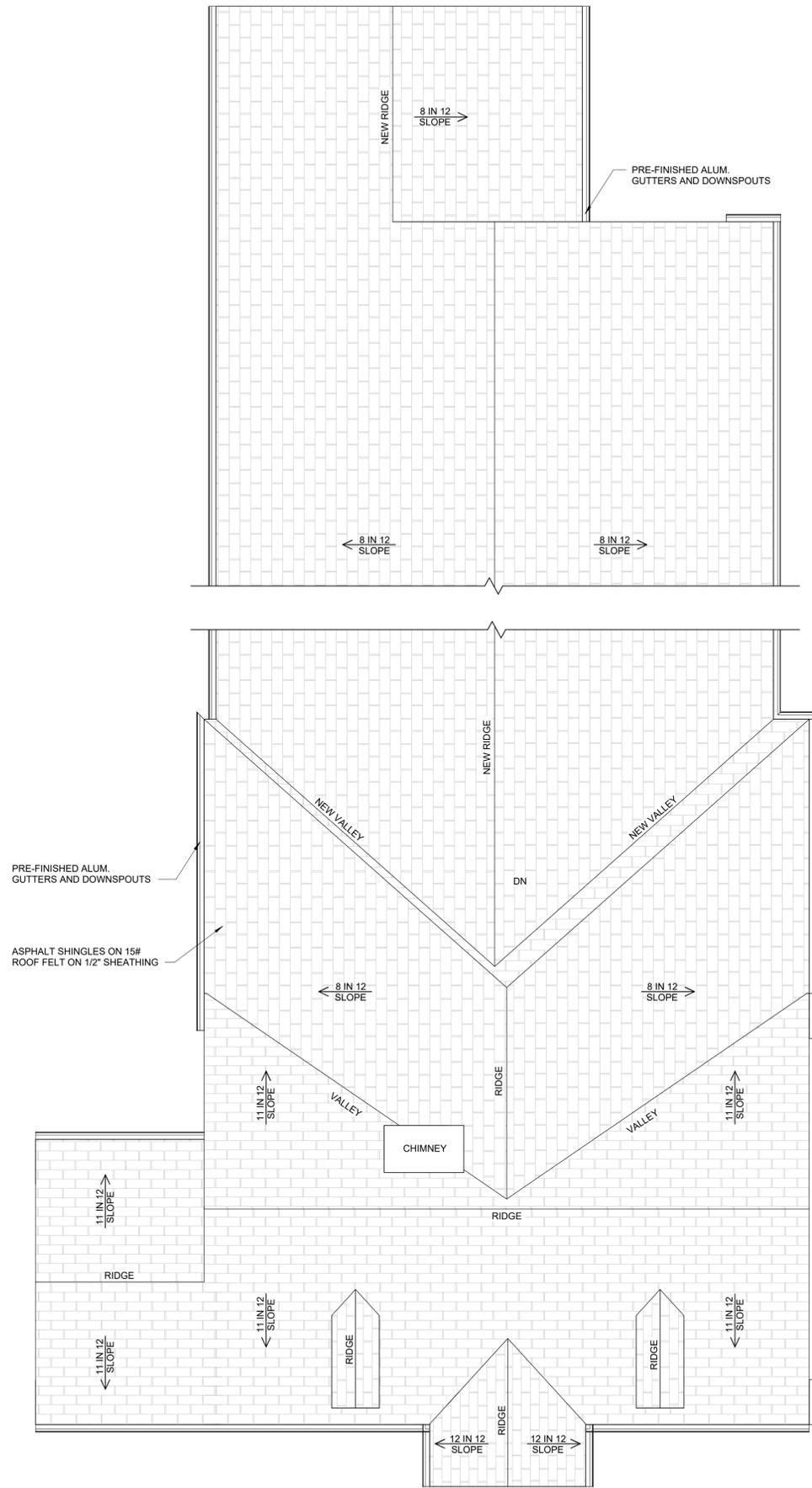
28 EXETER ROAD, AVONDALE ESTATES, GEORGIA 30002

A1.1





1 EXISTING ROOF PLAN  
1/4" = 1'-0"



2 PROPOSED ROOF PLAN  
1/4" = 1'-0"



EXISTING/ DEMOLITION AND PROPOSED ROOF PLANS

THE PORTER RESIDENCE

28 EXETER ROAD, AVONDALE ESTATES, GEORGIA 30002

A1.3

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SCALE: 1/4" = 1'-0"

REVISED:  
24-HOUR CONTACT: IAN PORTER 229.407.0400

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EXISTING WINDOW SCHEDULE									
TYPE	QNTY.	WINDOW TYPE	SIZE	SIZE	HEAD HEIGHT	LITE PATTERN	MATERIAL	GLAZING	NOTES
			WIDTH	HEIGHT					
A	4	SINGLE-HUNG	2' - 8"	4' - 6"	8' - 0"	6 / 6	WOOD	SINGLE-PANE	
B	12	SINGLE-HUNG	2' - 8"	5' - 2"	7' - 0"	6 / 6	WOOD	SINGLE-PANE	REMOVE ON BACK WALL
C	1	SINGLE-HUNG	2' - 8"	3' - 10"	7' - 0"	6 / 6	WOOD	SINGLE-PANE	INSTALL TEMP. GLAZING
D	2	SINGLE-HUNG	2' - 6"	3' - 2"	7' - 0"	6 / 6	WOOD	SINGLE-PANE	
E	1	SINGLE-HUNG	2' - 0"	3' - 2"	7' - 0"	1 / 1	WOOD	SINGLE-PANE	REMOVE
F	1	SLIDING	4' - 10"	3' - 11"	6' - 8"	FULL	ALUM.	SINGLE-PANE	REMOVE
G	1	SINGLE-HUNG	3' - 8"	4' - 2"	6' - 8"	6 / 6	WOOD	SINGLE-PANE	
H	2	FIXED	1' - 0"	1' - 10"	-	3	WOOD	SINGLE-PANE	REPLACE IN-KIND
J	1	SINGLE-HUNG	1' - 10"	3' - 10"	8' - 4"	4 / 4	WOOD	SINGLE-PANE	
K	2	FIXED	1' - 0"	3' - 2"	7' - 0"	3	WOOD	SINGLE-PANE	
L	1	SLIDING	7' - 10"	3' - 11"	6' - 8"	FULL	ALUM.	SINGLE-PANE	REMOVE
M	2	FIXED	3' - 0"	2' - 4"	8' - 0"	6	WOOD	UNKNOWN	REPLACE IN-KIND

NEW WINDOW SCHEDULE									
TYPE	QNTY.	WINDOW TYPE	SIZE	SIZE	HEAD HEIGHT	LITE PATTERN	MATERIAL	GLAZING	NOTES
			WIDTH	HEIGHT					
AA	6	SINGLE-HUNG	2' - 8"	4' - 6"	6' - 8"	6 / 6	WOOD	INSUL. / LOW-E	
BB	7	SINGLE-HUNG	2' - 8"	5' - 2"	7' - 0"	6 / 6	WOOD	INSUL. / LOW-E	
DD	3	SINGLE-HUNG	2' - 6"	3' - 2"	7' - 0"	6 / 6	WOOD	INSUL. / LOW-E	



1 EXISTING FRONT ELEVATION  
1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION  
1/4" = 1'-0"



3 EXISTING BACK ELEVATION  
1/4" = 1'-0"

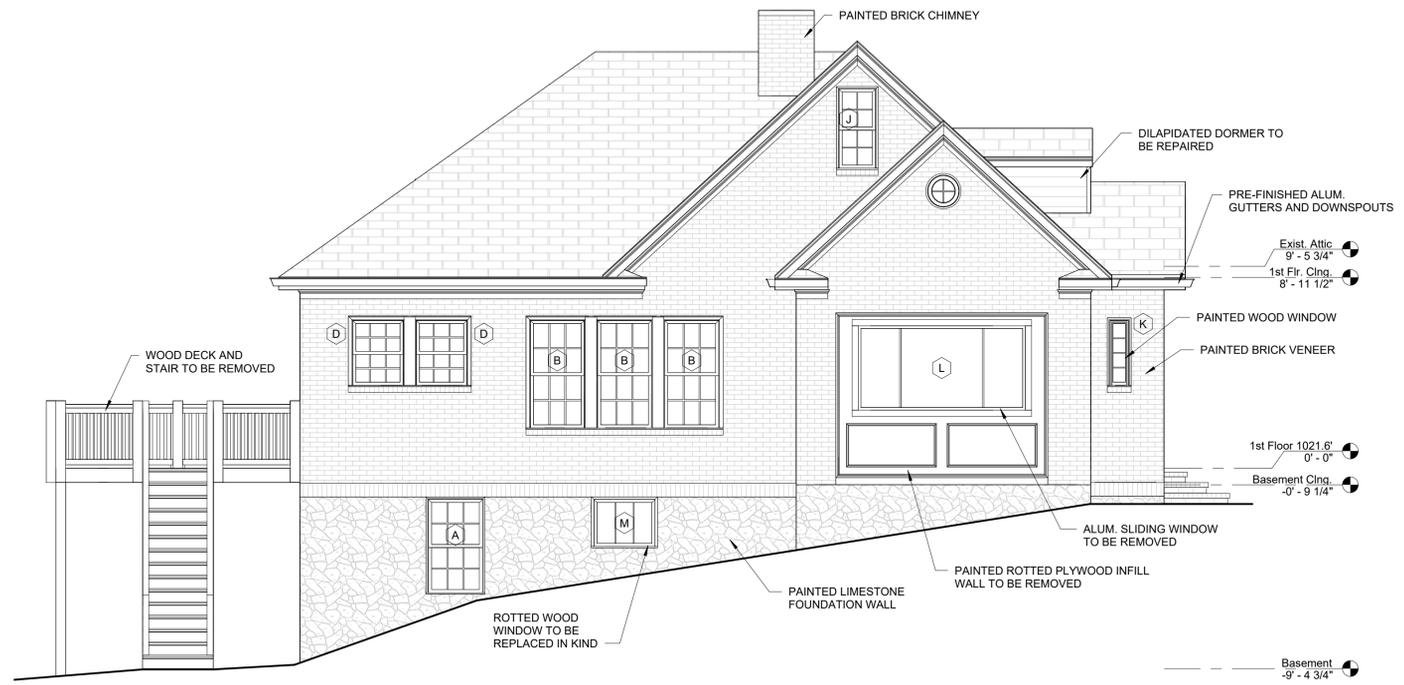


4 PROPOSED BACK ELEVATION  
1/4" = 1'-0"

  
 NOT RELEASED FOR PERMIT  
 REVISED: NOV. 25, 2025  
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EXIST. AND PROPOSED FRONT & BACK EXTERIOR ELEVATIONS  
 THE PORTER RESIDENCE  
 28 EXETER ROAD, AVONDALE ESTATES, GEORGIA 30002

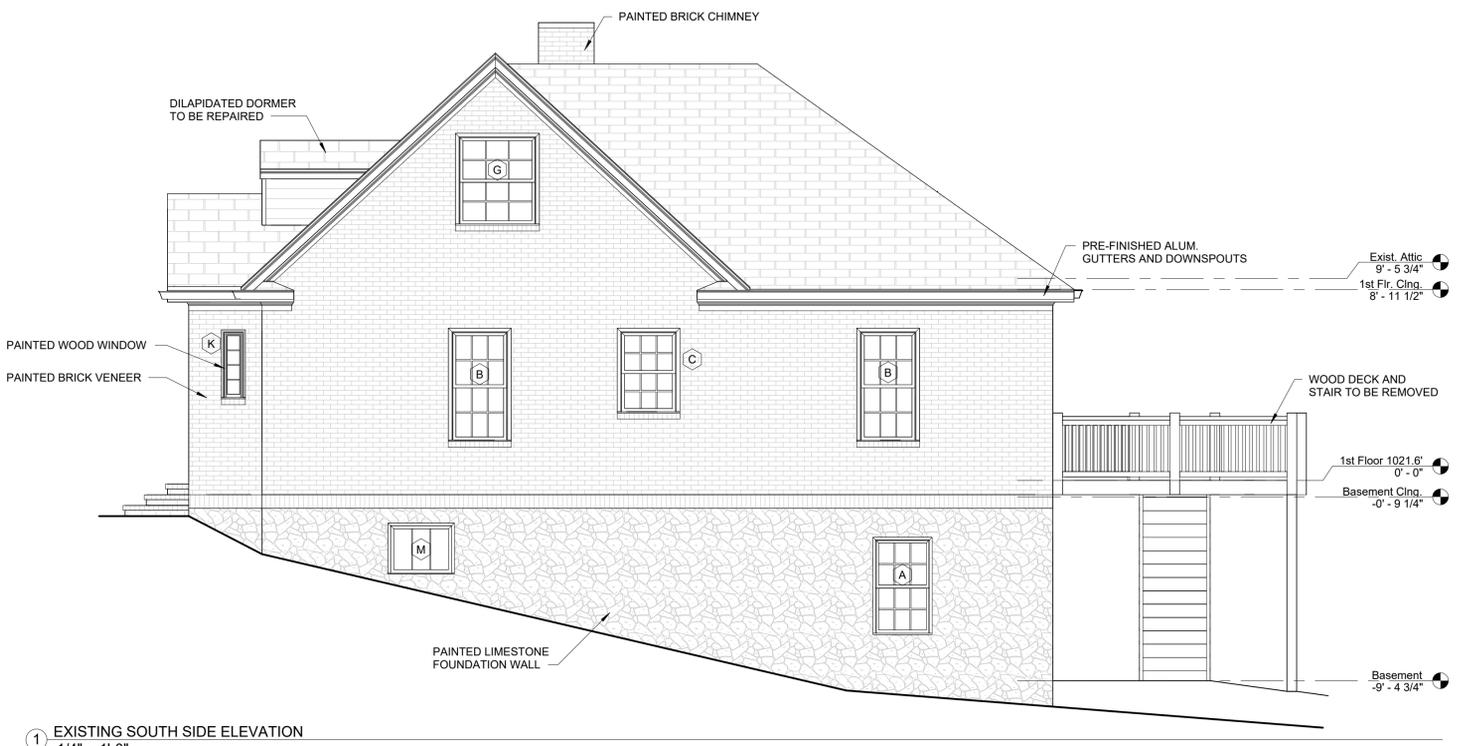
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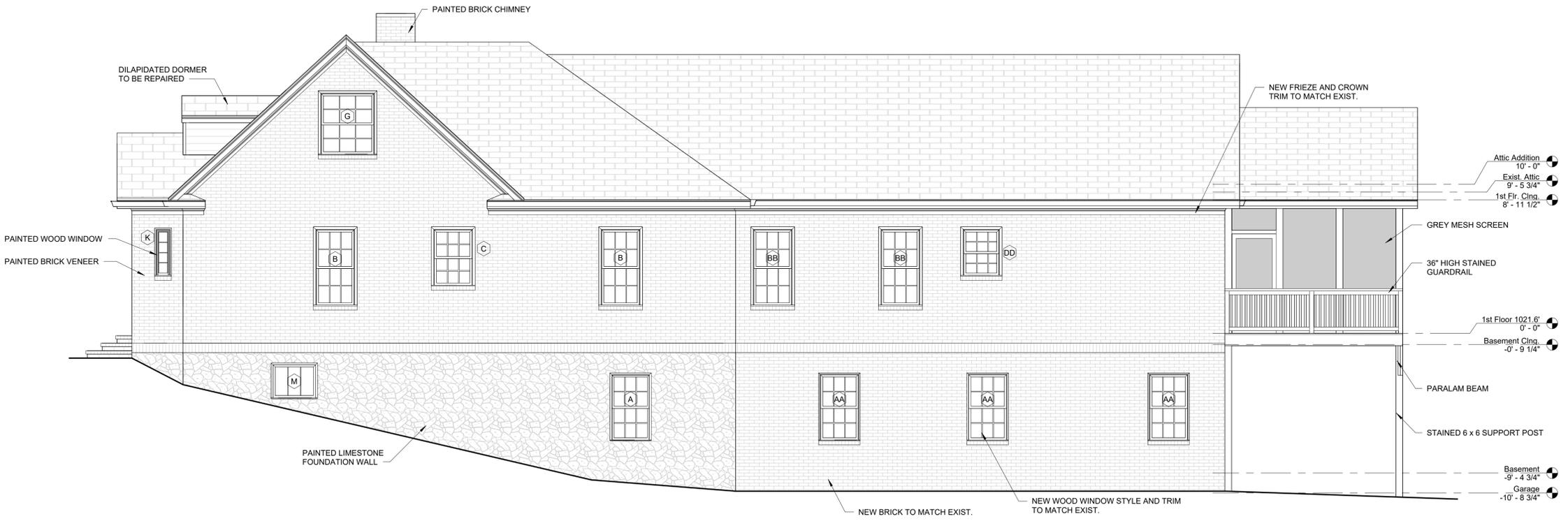
1 EXISTING NORTH SIDE ELEVATION  
 1/4" = 1'-0"



2 PROPOSED NORTH SIDE ELEVATION  
 1/4" = 1'-0"



1 EXISTING SOUTH SIDE ELEVATION  
1/4" = 1'-0"



2 PROPOSED SOUTH SIDE ELEVATION  
1/4" = 1'-0"

RESERVED FOR THE SUPERIOR COURT CLERK

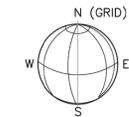
**GENERAL NOTES:**  
 1. This Plat has been prepared without the benefit of a current title report. Easements or encumbrances may exist that are not shown on this plat.  
 2. This plat is subject to any restrictions, easements, covenants or restrictions that may exist either written or unwritten.  
 3. Underground utilities not shown hereon may exist. The Surveyor does not take responsibility for absence or presence of any such utilities.  
 4. No Geodetic monuments were found within 500 feet of this site.  
 5. This Plat has been prepared for the exclusive use of the person(s) or entities named hereon.

**PLAT NOTES:**  
 This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon.  
 RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE PLACED USING SIDE DIMENSIONS FROM HOUSE. ALL MATTERS OF TITLE ARE EXEMPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT-OF-WAY PUBLIC OR PRIVATE.

**ZONING NOTE:**  
 BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING, PER CITY OR COUNTY ZONING DEPARTMENT.

**NOTE:** BUILDING TIES SHOULD NOT BE USED FOR DESIGN OR CONSTRUCTION WITHOUT VERIFICATION



REFERENCE: PLATBOOK 9 PAGE 78

**FLOOD HAZARD NOTE:** THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA AS DEFINED BY FIRM MAP OF DEKALB COUNTY, GEORGIA 13089C0069J EFFECTIVE DATE: MAY 16, 2013

**SURVEY DATA:**  
 TYPE OF SURVEY: RETRACEMENT  
 SOURCE OF TITLE DESCRIPTION FOR SUBJECT PROPERTY: 88-8270 PG. 305  
 PROPERTY OWNER AT TIME OF SURVEY: SUE ANN STONER PARTRIDGE  
 PARCEL NUMBER: 15-249-01-015

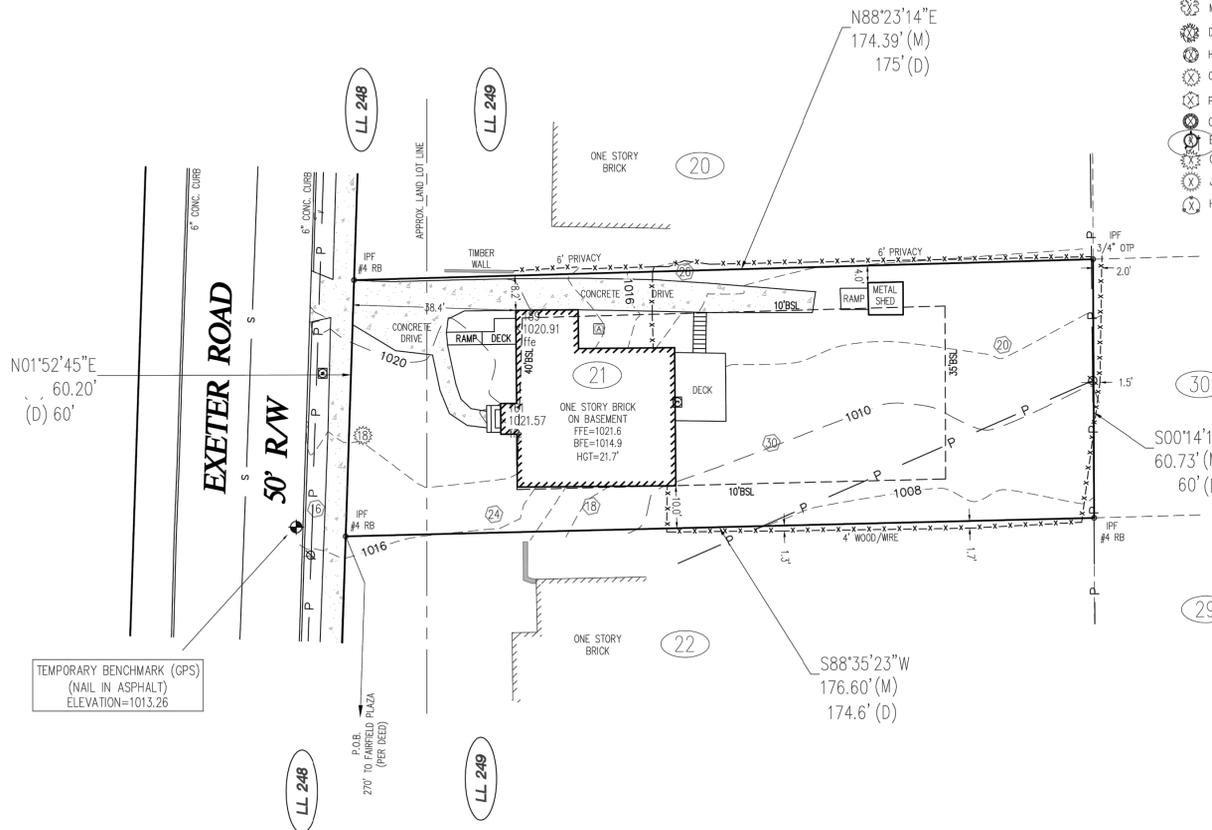
GRID NORTH (GA WEST) IS BASIS OF BEARING

TOTAL AREA: 10,601 SQ FT, 0.24 ACRES  
 CALCULATED PLAT CLOSURE: 1:338,918

**FIELD DATA:**  
 DATE OF FIELD SURVEY 8-18-2025  
 EQUIPMENT USED: ELECTRONIC TOTAL STATION

THE HORIZONTAL DATUM IS THE NORTH AMERICAN DATUM OF 1983 READJUSTED IN 2011 (NAD83(2011)). THE VERTICAL DATUM IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).  
 THE SOURCE OF VERTICAL DATUM IS THE TRIMBLE CORS NETWORK

<b>28 EXETER ROAD</b>	
ZONING: R-12	
HOUSE = 1,374 S.F.	
DRIVE = 1,020 S.F.	
FRONT STOOP = 21 S.F.	
FRONT RAMP / DECK = 64 S.F.	
SHED & RAMP = 96 S.F.	
REAR DECK & STEPS = 220 S.F.	
IMPERVIOUS TOTAL = 2,795 S.F.	
LOT AREA = 10,601 S.F.	
LOT COVERAGE (%) = 26.4	



- TREE SYMBOLS**  
 X = DIAMETER IN INCHES
- (X) OAK
  - (X) HARDWOOD
  - (X) SWEETGUM
  - (X) PINE
  - (X) MAPLE
  - (X) POPLAR
  - (X) MAGNOLIA
  - (X) DOGWOOD
  - (X) HICKORY
  - (X) CREPE MYRTLE
  - (X) PECAN
  - (X) CEDAR
  - (X) BEECH
  - (X) CYPRESS
  - (X) JAPANESE MAPLE
  - (X) HOLLY

- LEGEND**
- POC POINT OF COMMENCEMENT
  - POB POINT OF BEGINNING
  - EOP EDGE OF PAVEMENT
  - CURB BACK OF CURB
  - BSL BUILDING SETBACK LINE (PRIMARY)
  - FFE FINISHED FLOOR ELEVATION
  - LLL LAND LOT LINE
  - PP POWER POLE
  - GW GUIDE WIRE
  - R/W RIGHT OF WAY
  - C.P. CALCULATED POINT
  - IPF IRON PIN FOUND
  - IPS 1/2" REBAR SET
  - SW SIDE WALK
  - BOLLARD
  - OHP OVERHEAD POWER
  - UP UNDERGROUND POWER
  - GAS- GAS UNDERGROUND GAS
  - W- UNDERGROUND WATER
  - UT- UNDERGROUND TELEPHONE
  - S- UNDERGROUND SEWER
  - FH FIRE HYDRANT
  - FDC FIRE DEPT. CONNECTION
  - CB CATCH BASIN
  - DWCB DOUBLE WING CATCH BASIN
  - SWCB SINGLE WING CATCH BASIN
  - MH MANHOLE
  - JB JUNCTION BOX
  - WM WATER METER
  - WV WATER VALVE
  - GV GAS VALVE
  - GM GAS METER
  - CO CLEANOUT
  - EM ELECTRIC METER
  - AC AIR CONDITIONING UNIT
  - TELEPHONE BOX
  - ICB IRRIGATION CONTROL BOX
  - ICV IRRIGATION CONTROL VALVE
  - LP LIGHT POLE
  - CONCRETE PAD
  - ASPHALT
  - STONE
  - GRAVEL

(M) MEASURED  
 (D) DEED  
 (P) PLAT



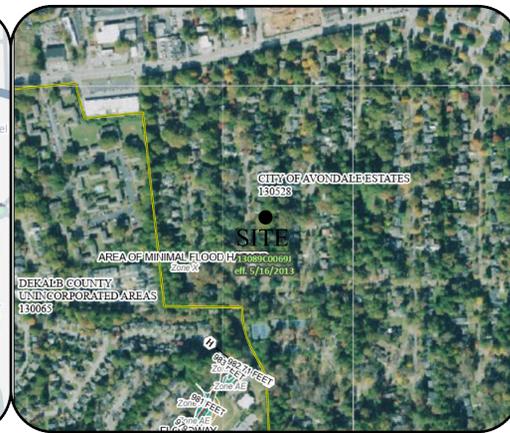
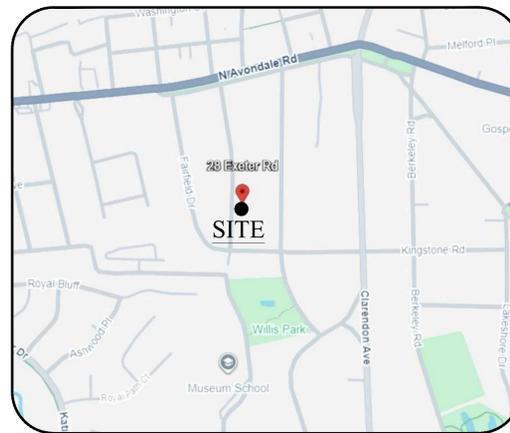
PREPARED BY:  
 DEKALB SURVEYS, INC.  
 407 WEST PONCE DE LEON AVENUE  
 SUITE B  
 DECATUR, GEORGIA 30030  
 404.373.9003



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BUILDING HEIGHT SHOWN IS MEASURED FROM THE MEAN FINISHED GROUND LEVEL AT THE FRONT OF THE BUILDING TO THE HIGHEST POINT OF THE ROOF

BOUNDARY, TREE & TOPOGRAPHIC SURVEY FOR IAN PORTER  
 LOT 21, BLOCK 4, AVONDALE ESTATES S/D  
**28 EXETER ROAD**  
 CITY OF AVONDALE ESTATES, DEKALB COUNTY, GEORGIA  
 LAND LOT 248 & 249, DIST 15  
 DATE: AUGUST 24, 2025



**GENERAL NOTES:**

- PROJECT NARRATIVE: CONSTRUCTION OF ADDITIONS OF EXISTING SINGLE FAMILY RESIDENCE
- SEE ARCHITECTURAL PLANS FOR MORE DETAIL
- SITE LOCATION: 28 EXETER RD, AVONDALE ESTATES, GA 30002
- SANITARY SEWER IS PROVIDED BY PUBLIC SEWER SYSTEM
- DRAINAGE STRUCTURES DO NOT EXIST ON THIS PROPERTY
- CREEKS OR DRAINAGE SWALES DO NOT EXIST ON THIS PROPERTY
- NO NEW STORM DRAIN PIPES ARE PROPOSED
- THIS PROPERTY DOES NOT LIE WITHIN THE CHATTAHOOCHEE RIVER CORRIDOR
- THIS PROPERTY IS NOT ON OR WITHIN 200 FEET OF WATERS OF THE STATE

TREE DENSITY TABLE				
TREE QTY	DBH in	TREES REMOVED	DBH in REMAIN	
TOTAL	7	134	1	122
	1	16	0	16
	2	18	0	36
	1	20	0	20
	1	24	0	24
	1	26	0	26
	1	30	1	0

SPECIMEN TREES REMOVAL TABLE			
TREES REMOVED	DBH in	TREES REMOVED	DBH in
TOTAL	1	30	1
	1	30	1

**PRE-CONSTRUCTION IMPERVIOUS AREA**

AREA	Sq. Ft.
LOT AREA	10,601
EXISTING HOUSE	1,374
EXISTING DRIVE	1,020
EXISTING FRONT STOOP	21
EXISTING FRONT RAMP / DECK	64
EXISTING SHED & RAMP	96
EXISTING REAR DECK & STEPS	220
<b>TOTAL COVERAGE</b>	<b>2,795</b>
	<b>26.4%</b>

**POST-CONSTRUCTION IMPERVIOUS AREA**

AREA	Sq. Ft.
LOT AREA	10,601
PROPOSED HOUSE ADDITION	963
PROPOSED PORCH & DECK	350
PROPOSED DRIVEWAY ADDITIONS	740
EXISTING HOUSE	1,374
EXISTING DRIVE (REMOVAL OF 307)	713
EXISTING FRONT STOOP	21
EXISTING FRONT RAMP / DECK	64
<b>TOTAL COVERAGE</b>	<b>4,225</b>
	<b>39.9%</b>

<b>TOTAL AREA:</b>	10,601 SF / 0.240 AC.
<b>DISTURBED AREA:</b>	6812 SF / 0.156 AC.

<b>SEDIMENT STORAGE</b>	DISTURBED AREA = 6812 SF = 0.156 AC
REQUIRED VOL. =	DIST. AREA X 67 = 10.48 CY
LENGTH OF SILT FENCE (Sd1-S) =	359 LF
SEDIMENT STORAGE PROVIDED =	29.80 CY

CONSTRUCTION LEGEND	
(Co)	CONSTRUCTION EXIT
(Cw)	CONCRETE WASHDOWN
(C1)	CONSTRUCTION OF NEW HOUSE ADDITION & PORCH & DECK
(C2)	CONSTRUCTION OF DRIVEWAY ADDITION
(SA)	STAGING AREA FOR DUMPSTER, PORTABLE TOILETS, MATERIAL STORAGE AND STOCKPILE AREAS
(Du)	DUST CONTROL AREA AND WASH STATION



NO.	REVISION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

**Vicinity Map (NTS)**

**FIRM Panel Vignette (NTS)**

**ZONING: R-12**

MINIMUM FRONTAGE: 60 FT  
MINIMUM LOT AREA: 12,000 SF

**R-12 SETBACKS AS PER PLAT**

FRONT: 40 FT  
STREET SIDE: 25 FT  
INTERIOR SIDE: 10 FT  
REAR: 35 FT  
BUILDING HEIGHT: 35 FT  
MAXIMUM COVERAGE: 40%

THE SURVEYOR IN NO WAY INTENDS TO INTERPRET OR MAKE CONCLUSIONS REGARDING THE ZONING AND SETBACK DESIGNATION SHOWN HEREON. THIS INFORMATION IS REPORTED FROM PUBLIC INFORMATION OBTAINED FROM CITY OR COUNTY PLANNING AND ZONING DEPARTMENTS.

**OWNER / EMERGENCY CONTACT**

IAN PORTER  
PORTER CONSTRUCTION COMPANY  
2033 RIDGEDALE ROAD, ATLANTA GA 30311  
IAN@PORTERCONSTRUCTIONGROUP.CO  
229-407-0400

**SITE NOTES:**

- CONSTRUCTION EXIT PAD AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH A.S.T.M. 0448 SIZE #1.
- THIS PLAN WAS PREPARED FOR PERMIT APPROVAL ONLY. ACTUAL CONSTRUCTION SHOULD BE BASED ON FIELD STAKING.
- ALL ELEVATIONS ON SITE NEED TO BE VERIFIED PRIOR TO ANY CONSTRUCTION.
- THIS PLAN WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NAVD 1988 DATUM.
- UNDERGROUND UTILITIES ARE SHOWN AS PER PAINT MARKINGS BY OTHERS.
- NO GRADING TO BE CONDUCTED IN THE RIGHT-OF-WAY, NEED QUALIFIED CONTRACTOR PERMIT.
- EXISTING SANITARY SEWER LINE TO REMAIN IN SERVICE. CONTRACTOR TO TAKE REASONABLE MEASURES TO MAINTAIN AND PROTECT EXISTING SANITARY SEWER DURING CONSTRUCTION.
- CONTRACTOR AND OWNER MUST ENSURE UTILITIES ARE DISCONNECTED PRIOR TO ANY DEMOLITION WORK TAKING PLACE.
- DUMPSTERS AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET, TREE PROTECTION AREA, OR RIGHT OF WAY.
- IRRIGATION SYSTEMS ARE NOT ALLOWED WITHIN THE PUBLIC RIGHT-OF-WAY NOR WITHIN THE STRUCTURAL ROOT PLATE OF EXISTING TREES.

**LANDSCAPE NOTES:**

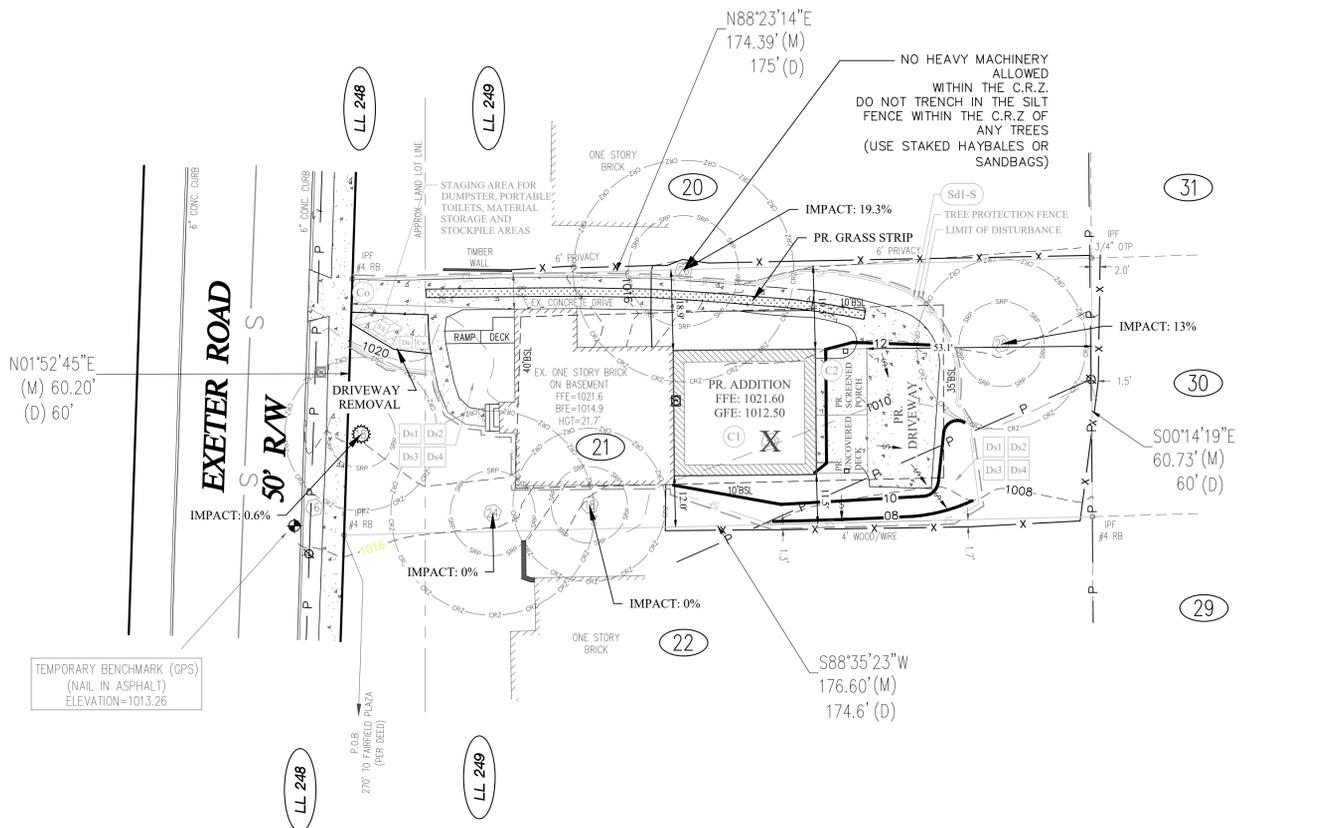
- NO HEAVY MACHINERY ALLOWED WITHIN THE C.R.Z.
- DO NOT TRENCH IN THE SILT FENCE WITHIN THE C.R.Z. OF ANY TREES (USE STAKED HAYBALES OR SANDBAGS)
- ANY DEMOLITION OR DEBRIS REMOVAL WITHIN THE CRITICAL ROOT ZONE OF TREES WILL BE DONE BY HAND.
- NO TREES ARE TO BE DESTROYED DURING DEMOLITION. NO CUT OR FILL OF EARTH WITHIN THE CRZ OF AN EXISTING TREE.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPAIRED OR REPLACED AS NEEDED.
- PROVISIONS FOR TREE PROTECTION ON THE SITE SHALL BE, AS A MINIMUM, IN CONFORMANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF AVONDALE ESTATES TREE PRESERVATION ORDINANCE, ZONING ORDINANCE AND ADMINISTRATIVE GUIDELINES PERTAINING TO TREE PROTECTION.
- ALL LANDSCAPING FOR EACH PHASE OF DEVELOPMENT SHALL BE COMPLETED PRIOR TO THE RECORDING OF THE FINAL PLAT FOR THAT PHASE. PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR THAT PHASE, OR PRIOR TO CONNECTION OF PERMANENT POWER FOR THAT PHASE, CONTACT SITE INSPECTION DEPARTMENT UPON COMPLETION OF LANDSCAPE INSTALLATION. NO TREES TO BE PLANTED WITHIN ANY EASEMENT.

**EROSION & SEDIMENT CONTROL PRACTICES**

- DS1** DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
- DS2** DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) ESTABLISH A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS ON DISTURBED AREAS.
- DS3** DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) ESTABLISH PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOD OR LEGUMES ON DISTURBED AREAS.
- DS4** DISTURBED AREA STABILIZATION (WITH CERTIFIED SOD) ESTABLISH PERMANENT VEGETATIVE COVER WITH SOD CUT TO DESIRED SIZE WITHIN 48% AND PLANTED WITHIN 30 HOURS OF DIGGING. SOD TO BE PLANTED ACCORDING TO COUNTY REQUIREMENTS.

PRIOR TO LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE AREA EROSION CONTROL INSPECTOR.

USE EXISTING WATER, SEWER AND GAS CONNECTIONS  
ARBORIST'S OFFICE MUST BE NOTIFIED IF ANY NEW UTILITY LINES ARE TO BE INSTALLED



**SITE PLAN**

PREPARED FOR: IAN PORTER,  
LOT 21, BLOCK 4, AVONDALE ESTATES S/D  
LAND LOT 248 & 249, 15 DISTRICT  
28 EXETER ROAD AVONDALE ESTATES GA  
DATE 10/17/2025

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

JiARONG LUO, LEVEL II DESIGN PROFESSIONAL # 89028  
10/28/25



THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.  
THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR OR NAMING SAID PERSON.  
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TOTAL AREA: 0.24 ACRES / 10,601 SQUARE FEET  
BOUNDARY REFERENCE: PH 9, PG 78  
FIELDWORK PERFORMED ON 08/18/2025  
THIS MAY OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 138,918 FEET



**LEGEND:**

● PROPERTY CORNER FOUND (AS NOTED)	□ POWER METER	□ TELEPHONE BOX	-HB HAY BALES
○ 1/2" REBAR WITH CAP SET LSF# 839	□ POWER BOX	-W WATER LINE	-FW FLOW WELL LINE
□ R/W MONUMENT	□ FIRE HYDRANT	-AC UNDERGROUND UTILITY LINE	-NF NOW OR FORMERLY
□ WATER METER	□ LIGHT POLE	-S SEWER LINE	-R/W RIGHT-OF-WAY
□ WATER VALVE	□ GUY WIRE	-G GAS LINE	-BSL BUILDING SETBACK LINE
□ POWER POLE	□ MANHOLE	-C CABLE LINE	-CNTL CANTILEVER
□ GAS VALVE	□ CLEAN OUT	-T TELEPHONE LINE	-CRZ CRITICAL ROOT ZONE
□ CABLE BOX	□ GAS METER	-X FENCE LINE	-S.R.P. STRUCTURAL ROOT PLATE (TYP.)
	□ YARD DRAINS	-SF SILT FENCE	LL LAND LOT
	□ SIGN	-O TREE PROTECTION	

**TREE LEGEND**

CONC. CONCRETE	TF-1069.0 TOP OF FOOTER ELEVATION	□ HARDWOOD TREE
EOB EDGE OF PAVEMENT	-SF SILT FENCE	□ PINE TREE
AC CURB	-DA DRAINAGE ARROW	X TO BE REMOVED
F.F.E. FINISH FLOOR ELEVATION		
B.F.E. BASEMENT FLOOR ELEVATION		
G.F.E. GARAGE FLOOR ELEVATION		
106.6 GROUND ELEVATION		
106.6 SURFACE ELEVATION		
TW-1069.0 TOP OF WALL ELEVATION		
HW-1069.0 BOTTOM OF WALL ELEVATION		



**BOUNDARY zone, inc.** SURVEYORS, ENGINEERS AND LAND PLANNERS  
PROVIDING SERVICES FOR: METRO ATLANTA, RALEIGH-DURHAM & CENTRAL FLORIDA  
800 SATELLITE BLVD., SUWANEE, GA 30024  
WWW.BOUNDARYZONE.COM (770) 271-5772

**PROJECT**  
27855.01  
**SHEET**  
2 OF 3

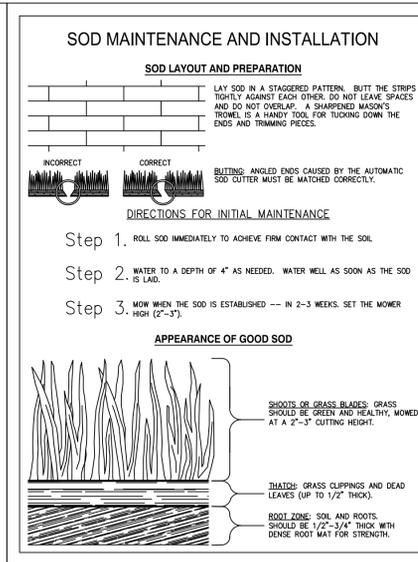
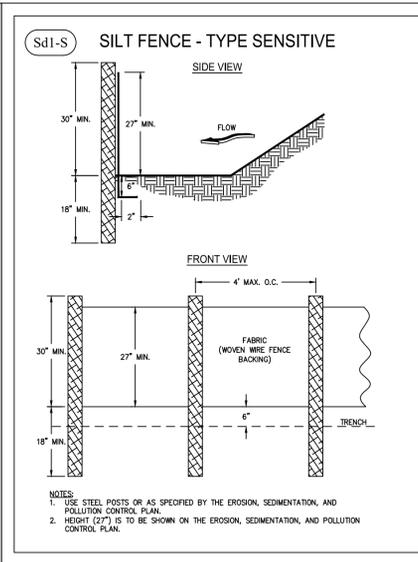
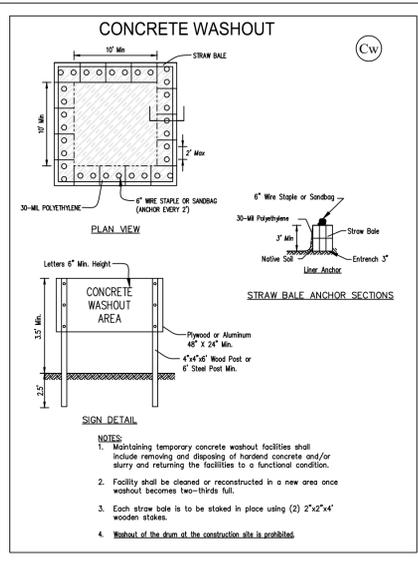
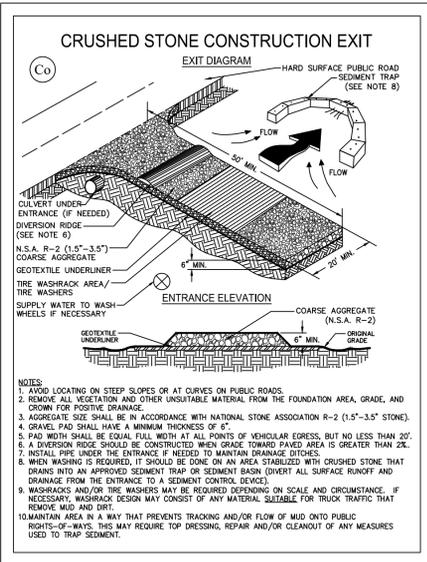
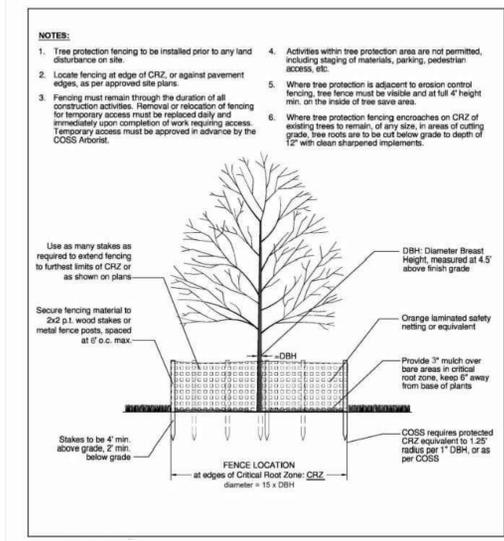


Figure 2 - Tree Protection Fencing (not to scale)



ACTIVITY SCHEDULE	NO. OF MONTHS
HOUSE CONSTRUCTION	0 2 4 6 8 10 12 14
CLEAR AND GRUB	
ROUGH GRADING	
FINISH GRADING	
UTILITIES	
PAVING	
GRASSING/CLEAN UP	
EROSION CONTROL MEASURES	

**DS1] DISTURBED AREA STABILIZATION (WITH MULCH ONLY) ESTABLISH TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.**

GRASSING SCHEDULE		DS2		FERTILIZER (LBS./ACRE)	
SPECIES	RATE/1000S.F.	DATES	LIME	N	K2O
KY 31	1-1/2 - 2 LBS.	9/1-1/1	1 TON/ACRE	60-90	120-180
FESCUE	1-1/2 - 2 LBS.	9/1-1/1	1 TON/ACRE	60-90	120-180
WINTER RYE		3/1-4/1			
*KEEPING LOVEGRASS	2-3 LBS.	3/1-6/5	1 TON/ACRE	60-90	120-180

\*APPLY 1/1 ONE TON OF AGRICULTURAL LIME EVERY 4-6 YEARS OR AS BY INDICATED BY SOIL TEST.

\*HYDROSEED ON ALL 2:1 SLOPES.

NOTE: TEMPORARY STABILIZATION (MULCHING ONLY) WHEN SEEDING WILL NOT HAVE A SUITABLE GROWING MAY BE ACCOMPLISHED WITH STRAW OR HAY - 2-1/2 TONS/ACRE. WOOD WASTE, BARK, SAWDUST - 2-3" DEEP (APPROX. 6-9 TONS/ACRE).

**DU] DUST CONTROL**  
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO SURFACE AND AIR MOVEMENT OF DUST WHERE ON AND OFF-SITE DAMAGE MAY OCCUR WITHOUT TREATMENT.

**METHOD AND MATERIALS**

**A. TEMPORARY METHODS**

**MULCHES.** SEE STANDARD DS1 - DISTURBED AREA STABILIZATION (WITH MULCHING ONLY). SYNTHETIC RESINS MAY BE USED INSTEAD OF ASPHALT TO BIND MULCH MATERIAL. REFER TO SPECIFICATION TAC - TACKIFIERS. RESINS SHOULD BE USED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

**VEGETATIVE COVER.** SEE SPECIFICATION DS2 - DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING).

**SPRAY-ON ADHESIVES.** THESE ARE USED ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS. REFER TO SPECIFICATION TAC - TACKIFIERS.

**TILLAGE.** THIS PRACTICE IS DESIGNED TO ROUGHEN AND BRING CLODS TO THE SURFACE. IT IS AN EMERGENCY MEASURE THAT SHOULD BE USED BEFORE WIND EROSION STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART. SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED EFFECT.

**IRRIGATION.** THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS WET. REPEAT AS NEEDED.

**BARRIERS.** SOLID BOARD FENCES, SNOWFENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 15 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING WIND EROSION.

**CALCIUM CHLORIDE.** APPLY AT RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

**A. PERMANENT METHODS**

**PERMANENT VEGETATION.** SEE SPECIFICATION DS3 - DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION). EXISTING TREES AND LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.

**TOPSOILING.** THIS ENTAILS COVERING THE SURFACE WITH LESS EROSION SOIL MATERIAL. SEE SPECIFICATION TP - TOPSOILING.

**STONE.** COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL. SEE SPECIFICATION CR-CONSTRUCTION ROAD STABILIZATION.

**DS3] PERMANENT GRASSING**  
PERMANENT GRASSING SHALL CONSIST OF GROUND PREPARATION, LIMING AND FERTILIZATION, SEEDING, AND MULCHING

THE GROUND SHALL BE PREPARED BY PLOWING AND DISKING NOT LESS THAN 4". FERTILIZER AND LIME SHALL BE UNIFORMLY MIXED INTO THE GROUND - FERTILIZER AT A RATE OF 1500 LBS./AC. THE GROUND SHALL BE FINISHED OFF SMOOTH AND UNIFORM BEING FREE OF ROCKS, CLODS, ROOTS, ETC. FERTILIZER MIXED GRADE SHALL BE EITHER 4-12-12 OR 10-10-10. SEEDING SHALL BE DONE WITHIN 24 HOURS OF THE FERTILIZER APPLICATION, WEATHER PERMITTING. SEED SHALL BE UNIFORMLY SPREAD AT THE RATE SHOWN IN THE GRASSING CHART. MULCHING IS REQUIRED AND SHALL BE DONE AFTER SEEDING. MULCH SHALL BE UNIFORMLY SPREAD AT THE RATE SHOWN BELOW MULCHING IS REQUIRED AND SHALL BE DONE IMMEDIATELY AFTER SEEDING. MULCH SHALL BE UNIFORMLY APPLIED OVER THE AREA LEAVING APPROXIMATELY 25% OF THE GROUND SURFACE EXPOSED. MUCHING MATERIAL SHALL BE DRY STRAW OR DRY HAY OF GOOD QUALITY, FREE OF WEED SEEDS. APPLY AT A RATE OF 2.5 TONS PER ACRE. THE RATE OF APPLICATION SHALL BE DOUBLED ON SIDE SLOPES 4:1 AND STEEPER.

**DS4] SODDING (TO MATCH EXISTING SPECIES)**  
SODDING SHALL CONSIST OF GROUND PREPARATION, LIMING AND FERTILIZATION, AND CERTIFIED SOD OF A VARIETY MATCHING EXISTING GRASS SPECIES. THE GROUND SHALL BE PREPARED BY CLEARING SURFACE OF TRASH, WOODY DEBRIS, STONES, AND CLODS LARGER THAN 1". APPLY AGRICULTURAL LIME AT A RATE OF 0.05 LBS / SF. IRRIGATE SOD AND SOIL TO A DEPTH OF 4" IMMEDIATELY AFTER INSTALLATION. SOD SHOULD NOT BE CUT OR SPREAD IN EXTREMELY WET OR DRY WEATHER. GRASS SPECIES ARE TO MATCH EXISTING SPECIES WHEN REPLACING GRASS LAWNS OF PROPERTY OWNERS.

THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT. EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT AND BURDEN THIS PROPERTY.

THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON AND DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT A RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

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TOTAL AREA: 0.24 ACRES / 10,601 SQUARE FEET

BOUNDARY REFERENCE: PH 9, PG 78  
FIELDWORK PERFORMED ON 08/18/2025

THIS MAP OR PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 338,918 FEET

**LEGEND:**

- PROPERTY CORNER FOUND (AS NOTED)
- 1/2" REBAR WITH CAP SET LSF# 839
- R/W MONUMENT
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- POWER POLE
- YARD DRAINS
- SIGN
- POWER METER
- POWER BOX
- AC UNIT
- LIGHT POLE
- GUY WIRE
- MANHOLE
- CLEAN OUT
- GAS METER
- GAS VALVE
- CABLE BOX
- TELEPHONE BOX
- WATER LINE
- OVERHEAD UTILITY LINE
- SEWER LINE
- GAS LINE
- CABLE LINE
- TELEPHONE LINE
- FENCE LINE
- SILT FENCE
- TREE PROTECTION
- HAY BALES
- FLOW WELL LINE
- NOW OR FORMERLY
- RIGHT-OF-WAY
- BUILDING SETBACK LINE
- CANTILEVER
- CRITICAL ROOT ZONE
- STRUCTURAL ROOT PLATE (TYP.)
- LAND LOT
- CONC. CONCRETE
- EDGE OF PAVEMENT
- CONTOUR LINE
- FINISH FLOOR ELEVATION
- BASEMENT FLOOR ELEVATION
- GARAGE FLOOR ELEVATION
- GROUND ELEVATION
- SURFACE ELEVATION
- TOP OF FOOTER ELEVATION
- BOTTOM OF WALL ELEVATION
- HARDWOOD TREE
- PINE TREE
- TO BE REMOVED

**TREE LEGEND**

- HARDWOOD TREE
- PINE TREE
- TO BE REMOVED

**811**  
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NO.	REVISION	DATE
1		
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**DETAILS**

PREPARED FOR: IAN PORTER,  
LOT 21, BLOCK 4, AVONDALE ESTATES S/D  
LAND LOT 248 & 249, 15 DISTRICT  
28 EXETER ROAD AVONDALE ESTATES GA  
DATE 10/17/2025

**PROJECT**  
27855.01

**SHEET**  
3 OF 3