

Applicant: Adam Perry

Property Address: 1 Sussex Road

Property Type: Residential, Compatible Designation

Project Summary: The proposed project for this 1951 Linear Ranch House consists of (1) addition of a new rear shed dormer and replacement of siding on existing dormers; (2) replacement of windows on the house's second floor; (3) replacement of the existing front entrance door; (4) replacement of the house's roofing with new architectural asphalt shingles; and (5) enlargement of the existing freestanding garage.

Applicable Guidelines: *Historic District Guidelines, Compatible Designation Properties – Additions, p. 39; Other Elements, p. 43; Materials, p. 43.*

Analysis: The project proposes to (1) add a new rear shed dormer and replace siding on existing dormers. The house's three existing shed dormers were added on the front and rear elevations in 2019. A fourth shed dormer matching the existing dormers will be added on the rear elevation. A pair of double-hung windows will be placed in the dormer's rear wall. The new dormer will be finished with horizontal fiber-cement cedar siding. The horizontal siding on the existing dormers will be replaced with the same horizontal fiber-cement cedar siding.

The project also proposes to (2) replace windows on the house's second floor. The architectural plans note that new windows to match existing windows will be installed in the front and rear dormers and in the southwest gable end. The windows will be 1-over-1 double-hung windows. Window materials are not specified.

The project also proposes to (3) replace the existing front entrance door. The existing door has a solid lower panel with an upper glass section. The proposed replacement door material and design are not specified. The proposed front elevation drawing appears to show the same door design.

The project also proposes to (4) replace the house's roofing with new architectural asphalt shingles. The existing roofing is asphalt shingles.

The project also proposes to (5) enlarge the existing freestanding garage. The existing garage is a front-gabled, single-car garage building that appears to be original to the house. The building measures 13' wide across its front elevation, 22' deep, and is approximately 12' in height. The garage is finished with horizontal siding and asphalt shingle roofing. The roof's eaves are open.

The front elevation has a nonhistoric garage door. The proposed enlargement of the garage will include adding a 7'-2" wide and 22' deep section to the building's side elevation, making the garage 20'-2" wide and 22' deep. A new front-gabled roof will be constructed; the roof's eaves will be enclosed. The building's height will be approximately 14'. A new, wider and taller garage door (16'-2" wide to accommodate two cars) will be installed in the front elevation. The building's walls will be finished with horizontal fiber-cement lap siding, and the roof will be finished with architectural asphalt shingles to match the house's roofing.

The *Historic District Guidelines for Additions on Compatible Designation* properties state that expansion of existing accessory structures shall not exceed a 50% increase of the original footprint. Additions shall be limited to rear and side elevations and shall be secondary in scale to the primary accessory building. Additions to existing accessory structures shall abide by new accessory structures guidelines for placement fully behind or not fully behind the main house. If new accessory structures are not fully behind the main house, the following parameters must be met: accessory structures shall be set back at least 25' from the house's main rear wall; the accessory structure's roof elevation shall be less than that of the main house; and the façade with the garage door shall not face the street unless that façade is 16' wide or less. The proposed addition to the existing garage is 164 SF, which is over a 50% increase in the building's original footprint. The addition is on the side elevation, but the larger and taller roof does not allow the addition to be secondary in scale to the original garage building. The garage is not fully behind the main house but is set back over 25' from the house's main rear wall and the new roof elevation is much less than that of the main house. However, with the addition, the garage's new front elevation will be 20'-2" wide, 4' wider than the required 16' or less. The enlargement of the garage does not meet the guidelines, and the addition should be reduced in size.

The *Historic District Guidelines for Other Elements on Compatible Designation* properties state that the design and size of new dormers should match that of existing dormers. The proposed rear shed dormer will match the existing three dormers and will be located on the house's rear elevation. The *Guidelines* also state that existing windows and entrances should be maintained to retain the architectural integrity of the house. Replacement windows and doors should match the original design, material, and style of the original structure. The house's existing windows are replacements and, therefore, may be replaced. The proposed replacement windows on the second floor will match the existing windows. Proposed window materials should be provided. Replacement of the front entrance door is also allowed. Materials and design of the replacement door should be provided.

The *Historic District Guidelines for Materials on Compatible Designation* properties state that new structures on *Compatible* properties may include all materials listed in the *Preservation Designation* section with additional contemporary materials. New roofs shall be of the same material as the original house. The proposed uses of fiber-cement cedar siding on the dormers and fiber-cement lap siding on the garage are allowed for *Compatible* properties; fiber-cement siding should always have a smooth finish. Replacement architectural asphalt shingle roofing on the house and garage is an approved material. These materials meet the guidelines. Proposed

materials of the replacement second-floor windows and the new front entrance door should be provided.

Recommendation: Based on the *Historic District Guidelines for Compatible Designation* properties, the project is recommended, with the following additional stipulations:

- Specify the materials of the new second-floor windows.
- Specify the material and design of the new front entrance door.
- Provide information on the type of fiber-cement “cedar siding” that is proposed for the dormers. Any fiber-cement siding should have a smooth finish rather than a wood-grain finish.
- Reduce the size of the garage’s addition to be less than a 50% increase in footprint and a front elevation width of 16’ or less.

Historic Preservation Commission Application for Certificate of Appropriateness COA



21 North Avondale Plaza
Avondale Estates, Georgia 30002
Ph: (404) 294-5400
Fx: (404) 299-8137
www.avondaleestates.org

APPLICANT INFORMATION

Applicant Name: Adam Perry Address/City/Zip Code: 1 Sussex Rd, Avondale Estates GA 30002

Phone: [REDACTED] Email:

Project Address: 1 Sussex Rd, Avondale Estates GA 30002

If applicant is representing homeowner at the meeting, a notarized statement from the homeowner must be submitted with the application giving applicant permission to represent homeowner.

Applicant Signature: Date: 12/5/25

PROPOSED PROJECT: Residential Commercial

New Construction Renovation/Repair Demolition

Description of Project:
The proposed residential renovation at 1 Sussex Rd includes building a dormer on the upstairs rear of the home to add height clearance for the upstairs office along with a twin window on the dormer to allow for natural lighting. There is also plans to expand the detached garage from a 1 car garage to a 2 car. There will be no suite above the garage.

ATTACHMENTS (Refer to attached checklist for further details)

- Site plan and scaled drawings of the proposed changes
(Dimensioned site plan, Dimensioned floor plan(s), Material Samples, Material Details, Color Samples, Street Elevation, Side Elevation).
- A detailed narrative of the proposed project.
- Materials checklist with all materials including windows and door changes.
- Sample photos of windows, doors, and garage doors (if applicable).
- Photos of the structure site to be modified.
- Photos of the structure as seen from the street.
- Electronic copy of application packet must be submitted to: lleland@avondaleestates.org

Comments:

**Application will be reviewed by the Avondale Estates Historic Preservation Commission and
Approved or Denied within 45 days of the submittal date**

FOR OFFICE USE ONLY

DATE APPLICATION SUBMITTED:	APPLICATION RECEIVED BY:	TIER DESIGNATION <input type="checkbox"/> Preservation <input type="checkbox"/> Adaptation <input type="checkbox"/> Conservation <input type="checkbox"/> Construction	HPC MEETING DATE FOR APPLICATION:	PARCEL ID#
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SEDIMENT CONTROL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sol	SEDIMENT BARRIER			A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDBAGS, BALES OF STRAW OR HAY, BRUSH LOGS AND POLES. BARRIERS ARE USUALLY TEMPORARY AND INEXPENSIVE.
Ds1	DISBURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)			ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SPECIES ON DISTURBED AREAS.
Ds2	DISBURBED AREA STABILIZATION (WITH PERMANENT SEEDING)			ESTABLISHING PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, SOY OR LEGUMES ON DISTURBED AREAS.
Co	CONSTRUCTION EXIT			A CRUSHED STONE PAD LOCATED IN THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR GRADING MUD FROM TRUCKS, THEREBY PROTECTING PUBLIC STREETS.

GRASSING SCHEDULE

SPECIES	DATE/AGE	PLANTING DATES	PERFECTURE
PERFORA UNIFORMIS	75 LBS.	1/1 - 1/21	6-12-12 1000 LBS.
LOMBARDIA	4 LBS.	3/1 - 6/1	6-12-12 1000 LBS.
TALL FESCUE GRASS	50 LBS.	6/1 - 10/1	6-12-12 1000 LBS.
CLAYTONIA RIVERA (SEED BLENDED)	40 LBS.	1/1 - 4/1	6-12-12 1000 LBS.
COMMON BERMUDA (SEED BLENDED)	20 LBS.	5/1 - 7/1	6-12-12 1000 LBS.
PERFORA (SEED BLENDED)	100 LBS.	10/1 - 1/15	10-10-10 1000 LBS.
PERFORA (SEED BLENDED)	100 LBS.	3/1 - 5/30	10-10-10 1000 LBS.
PERFORA (SEED BLENDED)	100 LBS.	6/1 - 10/1	10-10-10 1000 LBS.
PERFORA (SEED BLENDED)	100 LBS.	4/1 - 6/1	10-10-10 1000 LBS.

ITEM	DESCRIPTION	MONTHS OF ACTIVITY
1	SILT BARRIER INSTALLATION	1
2	CLEARING AND GRUBBING	1
3	DEMO	1
4		
5		
6	UTILITIES	
7	TEMPORARY GRASSING	
8	BUILDING	
9	CURB AND GUTTERS	
10	SIDEWALKS	
11	BASE AND PAVING	
12	FINAL GRASSING & REMOVAL OF TEMPORARY STRUCTURES	
13	MAINTENANCE OF EROSION CONTROL STRUCTURES	

"NO WATERS OF THE STATE WITHIN 200 FEET OF PROJECT SITE."

"NO INERT OR BURY PITS ON SITE"

"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES."

"EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."

"EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY."

"DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION & MULCH; DISTURBED AREAS REMAINING IDLE 30 DAYS, SHALL BE ESTABLISHED WITH PERMANENT VEGETATION."

"SILT FENCE SHALL BE TYPE S AS PER THE MANUAL FOR SEDIMENT & EROSION CONTROL IN GEORGIA."

"ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION."

"ALL EXISTING UTILITIES TO BE REUSED & PROTECTED DURING DEMOLISHING & CONSTRUCTION"

24HR CONTACT/DEVELOPER
LAWRENCE NELSON
770 789 7989
lnelson@l3construction.com

PROPERTY OWNER: Aip And Btr Revocable Trust

DISTURBED AREA: 0.006 AC

TOTAL BLDG: 2,771 HEATED SF
TOTAL SITE AC: 17,955 SF, 0.41 AC

ZONING: R-3

LOT COVERAGE:

EX. BLDG BASE: 1,435 SF
EX. GARAGE: 257 SF
EX. DRIVEWAY: 1,289 SF
EX. SCREEN PORCH: 196 SF
EX. WOODEN DECK: 120 SF
EX. SW: 140 SF
EX. AC PAD: 9 SF
EX. STEPS: 75 SF
PROP. GARAGE ADDITION: 164 SF

TOTAL LOT COVERAGE SF 3,685 SF
3,685 / 17,955 = 20.5%

NO TREES TO BE REMOVED

BASED ON THE INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM * FLOOD INSURANCE RATE MAP "FIRM" OR FLOODWAY BOUNDARY MAP * COMMUNITY PANEL NUMBER 13089C0069J, DEKALB COUNTY, GEORGIA DATED MAY 16, 2013, FURNISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY THROUGH THE FEDERAL INSURANCE ADMINISTRATION, IT IS MY OPINION THAT THE PROPERTY SHOWN HEREON IS OUTSIDE A FLOOD HAZARD AREA.

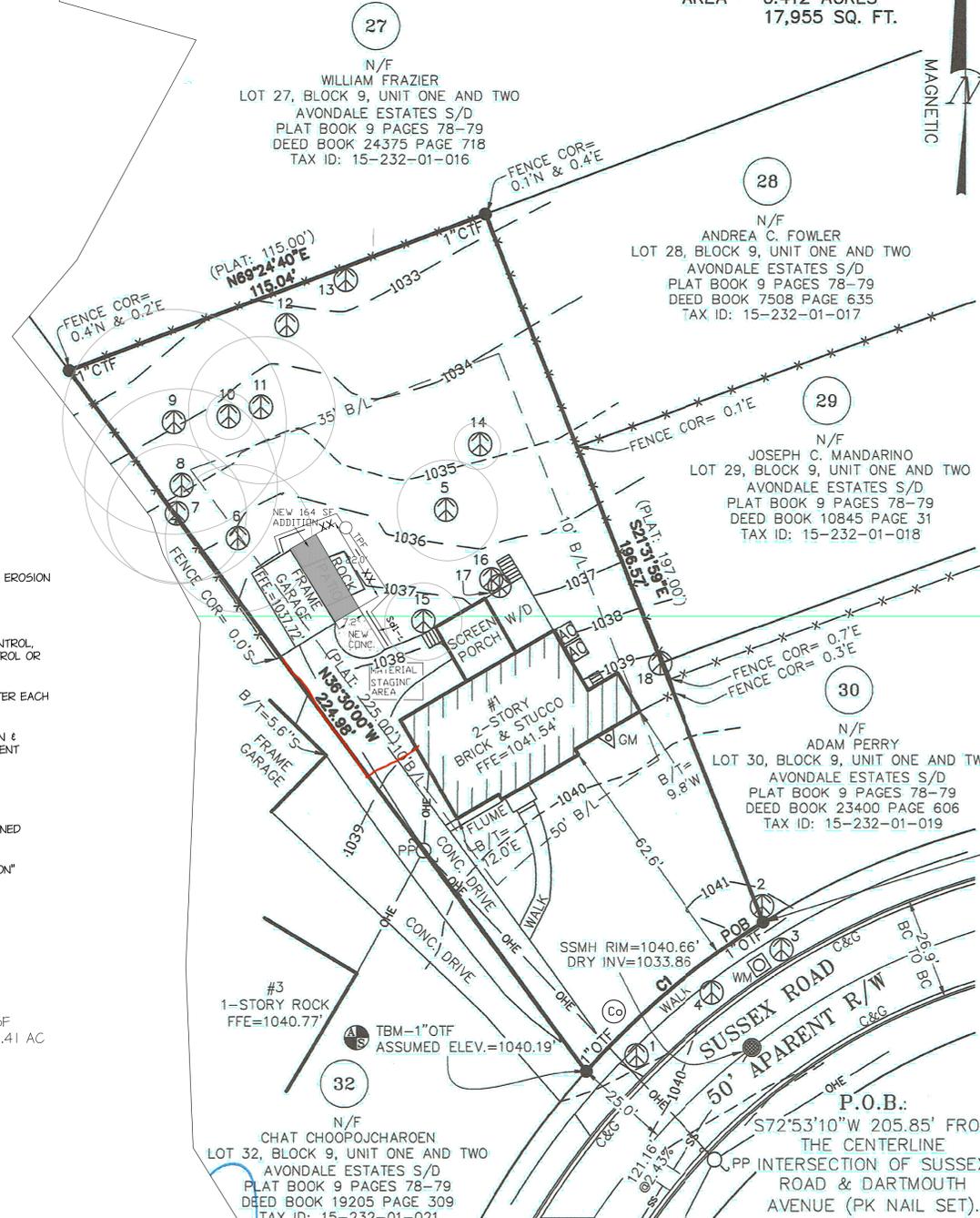
SCOPE OF WORK

1. ADD ADDITION SF TO AN EXISTING GARAGE IN THE REAR TO CREATE A 2 CAR GARAGE..
2. NO GRADING TO BE PERFORMED.

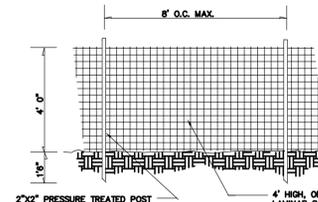
PARCEL DESCRIPTION:
LOT 31, BLOCK 9,
UNIT ONE AND TWO
AVONDALE ESTATES S/D
PLAT BOOK 9 PAGE 78-79
DEED BOOK 22038 PAGE 309
TAX ID: 15-232-01-020

AREA - 0.412 ACRES
17,955 SQ. FT.

CURVE	LENGTH	RADIUS	CHORD B&D	PLAT
C1	60.18'	210.89'	S50°06'59"W 59.98'	60.00'

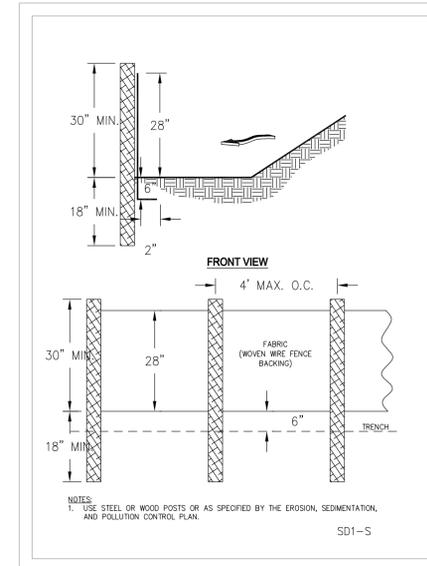


TREE CHART					
1	40" HARDWOOD	7	18" PINE	13	16" HARDWOOD
2	12" PINE	8	25" PINE	14	6"x2 HARDWOOD
3	8" HARDWOOD	9	29" PINE	15	10" SPRUCE
4	5" DOGWOOD	10	6" HARDWOOD	16	8" SPRUCE
5	13" HARDWOOD	11	19" PINE	17	5" SPRUCE
6	19" PINE	12	25" PINE	18	37" HARDWOOD



TREE PROTECTION FENCE

N.T.S.



FRONT VIEW

4' MAX. O.C.

FABRIC (WOVEN WIRE FENCE BACKING)

2" x 2" POSTS

30" MIN. HEIGHT

28" MIN. WIDTH

18" MIN. TRENCH

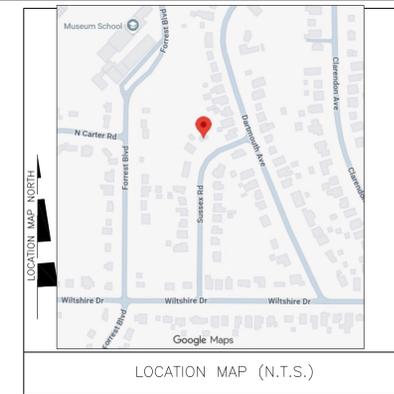
6" MIN. TRENCH

2" MIN. TRENCH

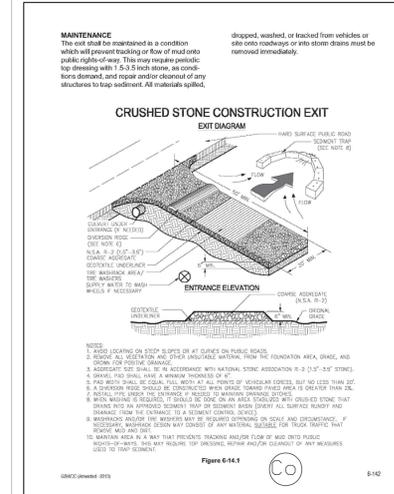
SD1-S

NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

SD1-S



LOCATION MAP (N.T.S.)



CRUSHED STONE CONSTRUCTION EXIT

EXIT DIAGRAM

4' MAX. O.C.

FABRIC (WOVEN WIRE FENCE BACKING)

2" x 2" POSTS

30" MIN. HEIGHT

28" MIN. WIDTH

18" MIN. TRENCH

6" MIN. TRENCH

2" MIN. TRENCH

SD1-S

NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

SD1-S

THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL OCCUR PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.

DUMPSTER AND/OR TEMPORARY SANITARY FACILITIES SHALL NOT BE LOCATED IN STREET OR TREE PROTECTION AREA OR R/W

EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT CONTROL, ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS DEEMED NECESSARY BY THE ON-SITE INSPECTOR.

ALL DEMOLITION DEBRIS TO BE HAULED FROM SITE.

ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.

ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING.

ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.

ALL TREES TO REMAIN AND HAVE PROPER PROTECTION UNLESS APPROVED PLANS INDICATES OTHERWISE.

ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.

LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBING ACTIVITIES.

A FINAL AS-BUILT LOT SURVEY REQUIRED PRIOR TO C.O.

WORK HOURS AND CONSTRUCTION DELIVERIES: M-F 7AM - 7PM; SAT 8AM-5PM

ALL LOTS/SITES WITH 2' OF FILL OR GREATER WILL REQUIRE A COMPACTION CERTIFICATE BY A PROFESSIONAL REGISTERED ENGINEER PRIOR TO A BUILDING PERMIT AND OR PRIOR TO FOOTERS BEING POURED.

LOCATE AND FIELD STAKE ALL UTILITIES, EASEMENTS, PIPES, FLOOD LIMITS, STREAM BUFFERS, AND TREE SAVE AREAS PRIOR TO ANY LAND DISTURBANCE ACTIVITIES.

SITE/EROSION/TREE PROTECTION FOR 1 SUSSEX ROAD

FOR 1 SUSSEX ROAD

LOCATED AT
LL 232 DISTRICT 15
1 SUSSEX ROAD
AVONDALE ESTATES
DEKALB COUNTY

SITE

SHEET 1 OF 2

DAWSON ENGINEERING CONSULTANT, LLC
3487 CHARLISLE COURT, SE
CONTERS, GEORGIA 30013
PH: 678-485-9610
EMAIL: Tony@dawsonec.com
CONTACT: TONY DAWSON



DRAWN BY: TLD
CHECKED BY: TLD
APPROVED:



TLD
DATE: 11-20-20
JOB NO: 25241-CP
DATE: 12-05-25
REVISIONS



Know what's below.
Call before you dig.

0 20 40 Feet

EXTERIOR/INTERIOR RENOVATION

LEVEL 3 CONSTRUCTION 1 SUSSEX ROAD AVONDALE ESTATES, GEORGIA 30002

KnightBuilt Designs, LLC
355 TALL OAKS DRIVE SUITE 204
CONYERS, GEORGIA 30013
PHONE: (404) 984-4734 * Email: csknightdesigner@gmail.com

INDEX OF SHEETS	
SHEET NO.	SHEET NAME
	INDEX
C-1.0	INDEX OF DRAWINGS/GENERAL NOTES
	ARCHITECTURAL DRAWINGS
A-1.0	(EXISTING) FRONT AND REAR ELEVATIONS
A-2.0	(EXISTING) LEFT AND RIGHT ELEVATIONS
A-3.0	(PROPOSED) FRONT & REAR ELEVATIONS W/ GENERAL NOTES
A-4.0	(PROPOSED) FRONT & REAR ELEVATIONS W/ GENERAL NOTES
A-5.0	(EXISTING/PROPOSED) FIRST FLOOR PLAN W/ GENERAL NOTES
A-6.0	(EXISTING/PROPOSED) SECOND FLOOR W/ GENERAL NOTES
A-7.0	(EXISTING/PROPOSED) ROOF PLAN W/ GENERAL NOTES
A-8.0	(EXISTING/PROPOSED) DETACHED GARAGE

GENERAL NOTES:	
GENERAL FRAMING NOTES	GENERAL NOTES
<p>THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY. DUE TO A VARIANCE OF CODES PER REGION, PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL CODES. CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.</p> <ol style="list-style-type: none"> PROVIDE PURLINS AT MID HEIGHT OF ALL WALLS. ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW. ALL HEADERS SHALL BE 2x20" WITH 1/2" PLYWOOD BUTCH PLATE UNLESS OTHERWISE NOTED. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION. PROVIDE 1/4" CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS. ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE BRACED WITH 1/2" CDX PLYWOOD NAILING SCHEDULE SHALL BE 8" COMMONS AT 4'-0" O.C. AT ALL EDGES AND 8" COMMONS AT 12'-0" AT ALL INTERMEDIATE STUDS. (OPTION - APPROVED DIAGONAL CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS). ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED BY A THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY LOAD. PROVIDE DOUBLE 2x8 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0". PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-0" O.C. MAXIMUM. HIP VALLEY RAFTERS AND RIDGE BOARDS SHALL BE ONE 1/2" SIZE LARGER THAN RAFTERS. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2 x 4 STUDS UNLESS OTHERWISE NOTED. 	<ol style="list-style-type: none"> ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND PHA/VA MPE. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO KBC AT LAKE LAKE, LLC FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS. BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A WIDE VARIANCE IN LOCAL CODES SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE. ALL WOOD, CONCRETE, AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.

CONTACTS:	
OWNER:	PROJECT DESIGNER:
ADAM PERRY BEN RATOSSA 1 SUSSEX ROAD AVONDALE ESTATES, GEORGIA 30002 (858) 208-9322 CELL	KNIGHTBUILT DESIGNS, LLC COREY S. KNIGHT, DESIGNER 355 TALL OAKS DR SE SUITE 204 CONYERS, GEORGIA 30013 (404) 984-4734
CONTRACTOR:	
LEVEL 3 CONSTRUCTION MR. LAURENCE NELSON, III PROJECT: 1 SUSSEX RD AVONDALE ESTATES, GA (770) 789-7889 OFFICE	

APPLICABLE CODES:
OCCUPANCY GROUP CLASSIFICATION: INTERNATIONAL RESIDENTIAL CODE RESIDENTIAL GROUP R-3 GWINNETT COUNTY CONSTRUCTION TYPE DESIGNATION: V-B UNSPRINKLED ALL WORK, MEANS AND METHODS TO BE IN ACCORDANCE WITH: THE GWINNETT COUNTY CONSTRUCTION CODE (2018 VERSION)
INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO FAMILY DWELLINGS, 2018 EDITION WITH 2020 GEORGIA AMENDMENTS (EFFECTIVE JANUARY 2020)
INTERNATIONAL FIRE CODE, IFC 2018 EDITION WITH 2020 GEORGIA AMENDMENTS (EFFECTIVE JANUARY 2020)
INTERNATIONAL PLUMBING CODE 2018 EDITION WITH 2020/2022 GEORGIA AMENDMENTS (EFFECTIVE JANUARY 2020)
NATIONAL MECHANICAL CODE 2018 EDITION WITH 2020 GEORGIA AMENDMENTS (EFFECTIVE JANUARY 2020)
INTERNATIONAL FUEL GAS CODE 2018 EDITION WITH 2020/2022 GEORGIA AMENDMENTS (EFFECTIVE JANUARY 2020)
NATIONAL ELECTRIC CODE, NEC 2023 EDITION WITH GEORGIA AMENDMENTS (EFFECTIVE JANUARY 2021)
INTERNATIONAL ENERGY CONSERVATION CODE 2020 EDITION WITH GEORGIA SUPPLEMENTS AND AMENDMENTS (2020, 2022)
INTERNATIONAL SWIMMING POOL AND SPA CODE 2018 EDITION WITH 2020 GEORGIA AMENDMENTS (EFFECTIVE JANUARY 2020)

BUILDING AREA	
(AREA CALCULATED TO OUTSIDE FACE OF STUD WALL)	
(EXISTING/PROPOSED) FIRST FLOOR	1,435 SQUARE FEET
(EXISTING/PROPOSED) SECOND FLOOR	1,001 SQUARE FEET
TOTAL	2,436 SQUARE FEET
(EXISTING/PROPOSED) SECOND FLOOR	1,336 SQUARE FEET
NEW TOTAL	2,771 SQUARE FEET
(EXISTING) SCREENED DECK	196 SQUARE FEET
(EXISTING) DECK	120 SQUARE FEET
NEW COVERD PORCH FRONT ENTRY	217 SQUARE FEET

ARCHITECTURAL SYMBOLS LEGEND	
	DIRECTION OF VIEW
	DETAIL NUMBER
	SHEET LOCATION NUMBER
	DOOR SYMBOL SEE DOOR SCHEDULE- SHEET A-8.0
	ROOM NUMBER.
N.I.C.	NOT IN CONTRACT
F.O.S.	FACE OF STUD
N.T.S.	NOT TO SCALE
T.O.W.	TOP OF WALL
SIM.	SIMILAR - SAME GENERAL INTENT, HOWEVER NOT EXACTLY ALIKE
U.N.O.	UNLESS NOTED OTHERWISE
	WALL TYPE INDICATOR
SAB	SOUND ATTN BATTS IN WALL
	CEDAR POSTS
	WOOD STUD WALL

ARCHITECTURAL DESIGN DRAWING NOTES:

- THESE ARCHITECTURAL PLANS ARE BASIC RESIDENTIAL DESIGN DRAWINGS. THESE PLANS ARE LIMITED IN SCOPE, AND ARE NOT DETAILED CONSTRUCTION DRAWINGS.
- SPECIFIC BUILDING COMPONENTS, FIXTURES, APPLIANCES, MATERIALS, FINISHES, AND OTHER ITEMS TO BE USED WILL BE DETERMINED BY THE OWNER AND CONTRACTOR AND ARE NOT INDICATED IN THESE DRAWINGS.
- STRUCTURAL COMPONENTS, SPECIFICATIONS AND DETAILS ARE NOT INDICATED IN THESE DRAWINGS. STRUCTURAL ENGINEERING PLANS SHOULD BE CONSULTED TO DETERMINE STRUCTURAL BUILDING COMPONENTS AND CONFIRM THAT BUILDING WILL COMPLY TO STRUCTURAL BUILDING CODE REQUIREMENTS.
- THE ARCHITECT/DESIGNER ASSUMES NO LIABILITY FOR CONSTRUCTION DETAILS AND METHODS THAT ARE NOT EXPLICITLY SHOWN ON THE DRAWINGS OR THE STRUCTURAL PERFORMANCE OF THE COMPLETED CONSTRUCTION.

ZONING:

ZIP CODE: 30002

CITY OF AVONDALE ESTATES

ZONING: R-12
LAND USE: LOW DENSITY RESIDENTIAL
LOT SIZE: 0.412 ACRES / 17,955 SF
FAR: 2,445 SQFT / 17,955 SQFT = 14%

LOT COVERAGE: N/A / NO CHANGE TO EXISTING FOOTPRINT
APPLICABLE SETBACKS: 50' FRONT, 35' REAR/ 10' SIDES

10.01.2025-PERMIT DRAWINGS
RELEASED FOR CONSTRUCTION

PROJECT SCOPE OF WORK:

- ADD ONE SHED DORMERS TO OPEN UP THE SECOND FLOOR LIVING SPACE.
- THE DISTRICT REGULATIONS FOR THIS RESIDENCE IS CATEGORIZED AS ADAPTATION.
- THERE IS NOT CHANGE TO THE HEATED FOOTPRINT.

SEAL

NO.	DATE	DESCRIPTION

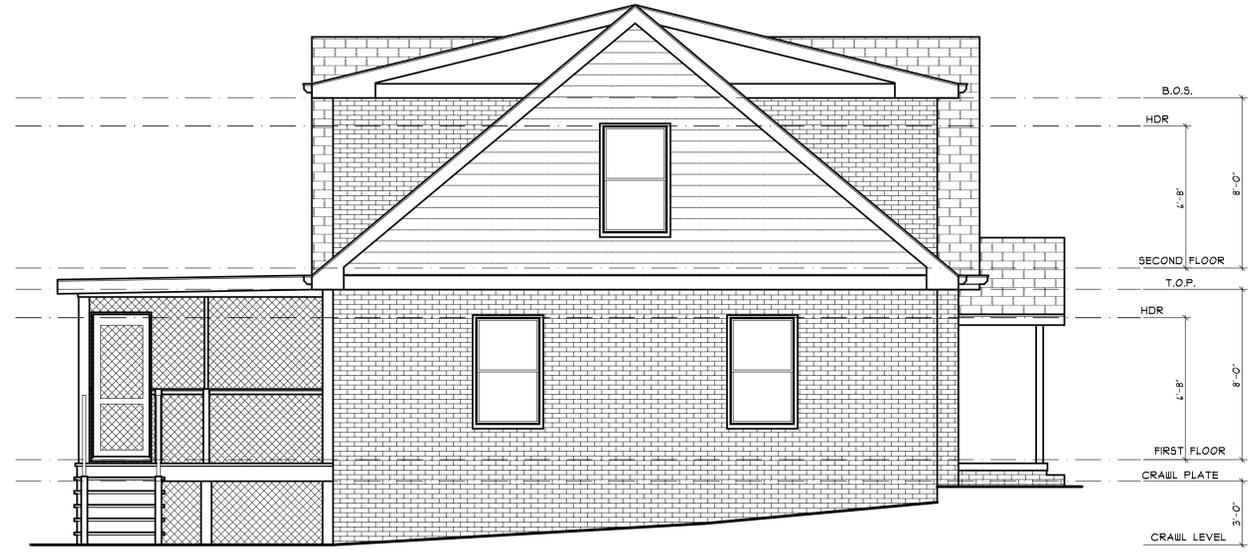
DATE OF THIS PLOT:
Friday, November 7, 2025

RESIDENTIAL RENOVATION
LEVEL 3 CONSTRUCTION
1 SUSSEX ROAD
AVONDALE ESTATES, GEORGIA 30002

DRAWN	CSK
CHECKED	CSK/1N3
JOB NUMBER	25-036
SCALE	AS NOTED
DATE	10/01/2025
SHEET	

C-1.0
1 OF 4





(EXISTING) LEFT ELEVATION 3
SCALE: 1/4" = 1'-0"



(EXISTING) RIGHT ELEVATION 4
SCALE: 1/4" = 1'-0"



KnightBuilt Designs, LLC
 355 TALL OAKS DRIVE SE SUITE 204
 CONYERS, GEORGIA 30013
 PHONE: (404) 984-4734 * Email: csknightdesigner@gmail.com

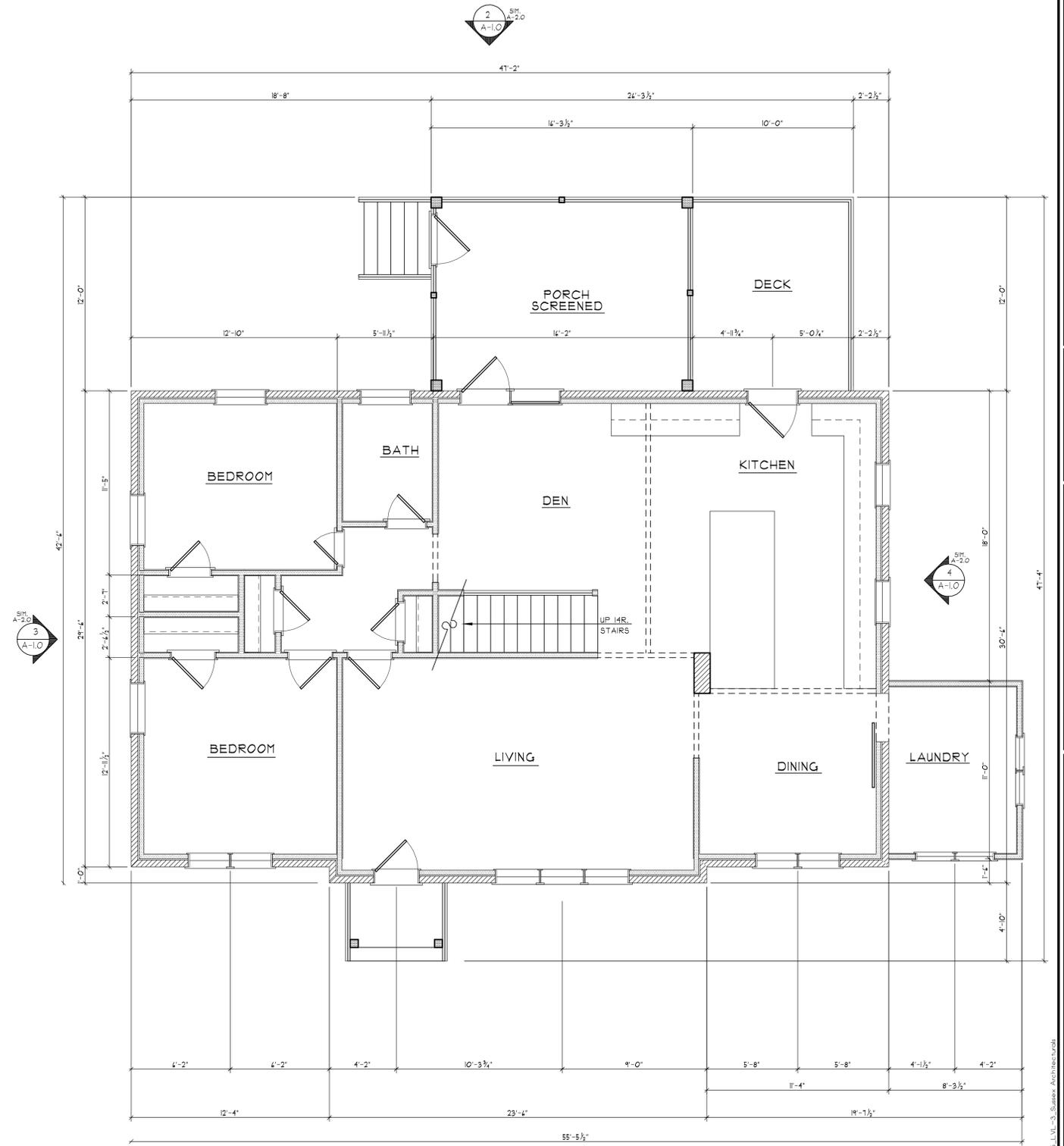
NO.	DATE	REVISIONS DESCRIPTION

DATE OF THIS PLOT:
Friday, November 7, 2025

RESIDENTIAL RENOVATION
 LEVEL 3 CONSTRUCTION
 1 SUSSEX ROAD
 AVONDALE ESTATES, GEORGIA 30002

DRAWN	CSK
CHECKED	CSK/TNJ
JOB NUMBER	25-036
SCALE	AS NOTED
DATE	10/01/2025
SHEET	

A-2.0



(EXISTING) FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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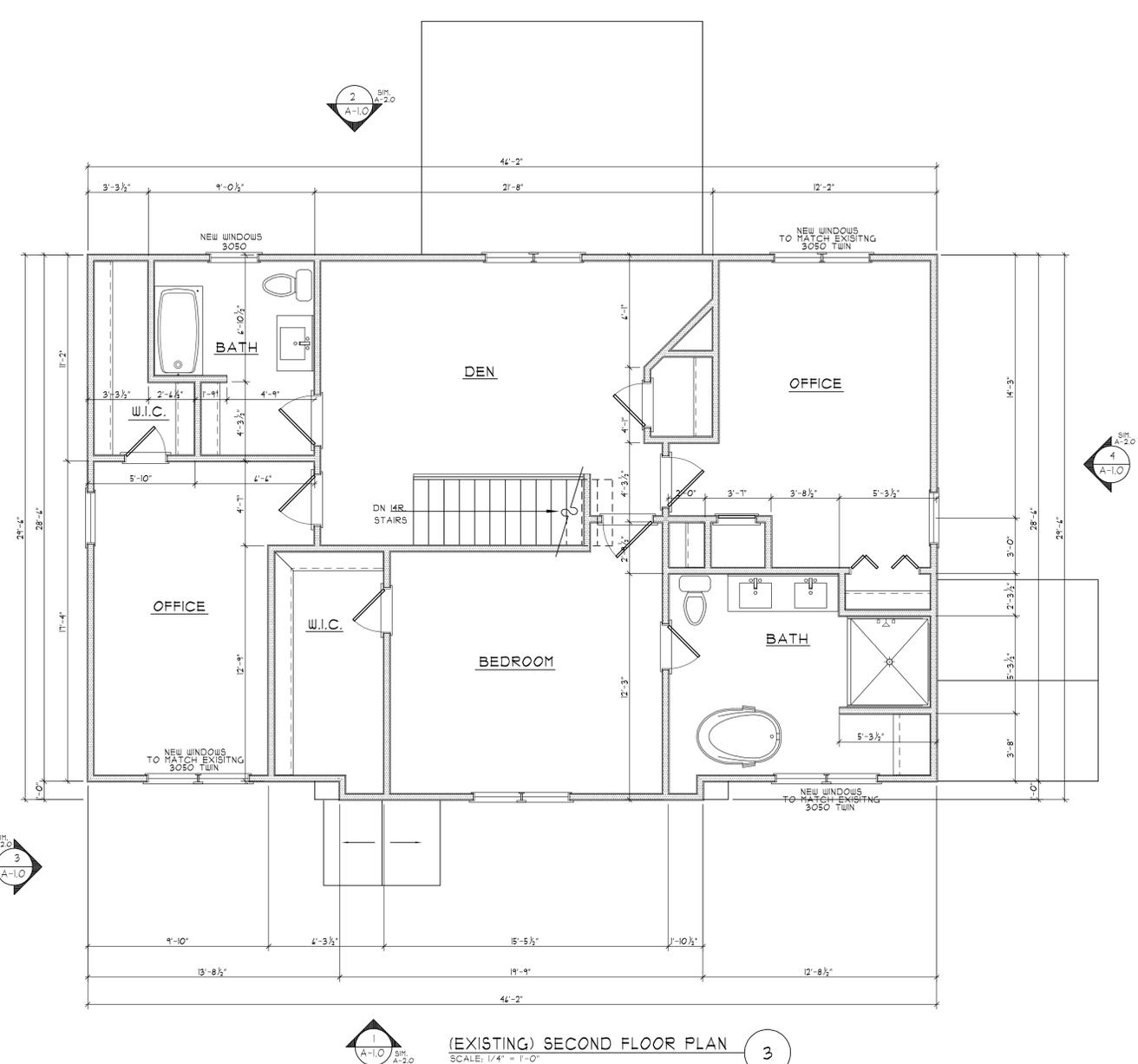
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REVISIONS		
NO.	DATE	DESCRIPTION

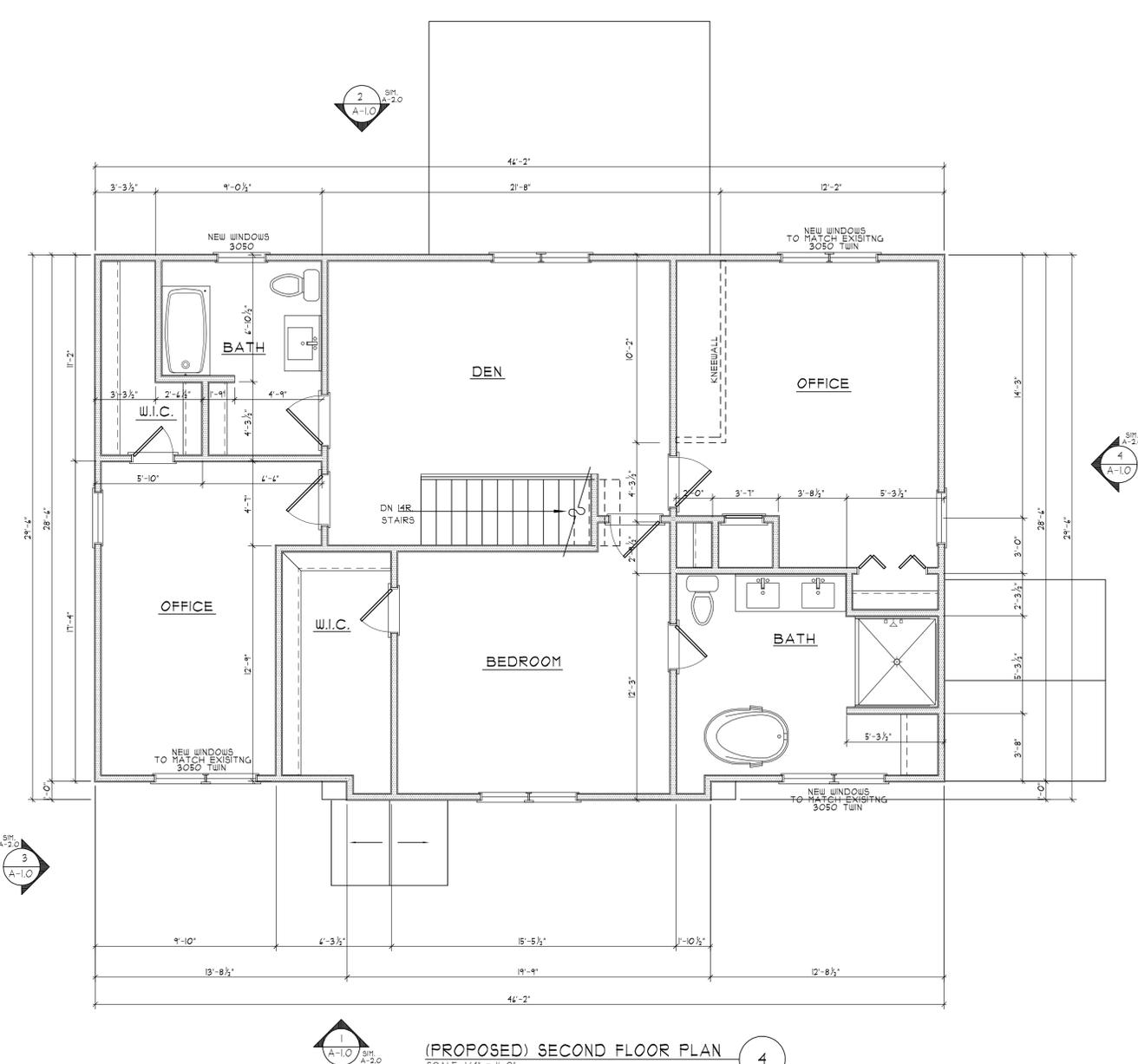
DATE OF THIS PLAN:
Friday, November 7, 2025

RESIDENTIAL RENOVATION
LEVEL 3 CONSTRUCTION
1 SUSSEX ROAD
AVONDALE ESTATES, GEORGIA 30002

DRAWN	CSK
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SHEET	A-5.0



(EXISTING) SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 3



(PROPOSED) SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 4

NO.	DATE	REVISIONS DESCRIPTION

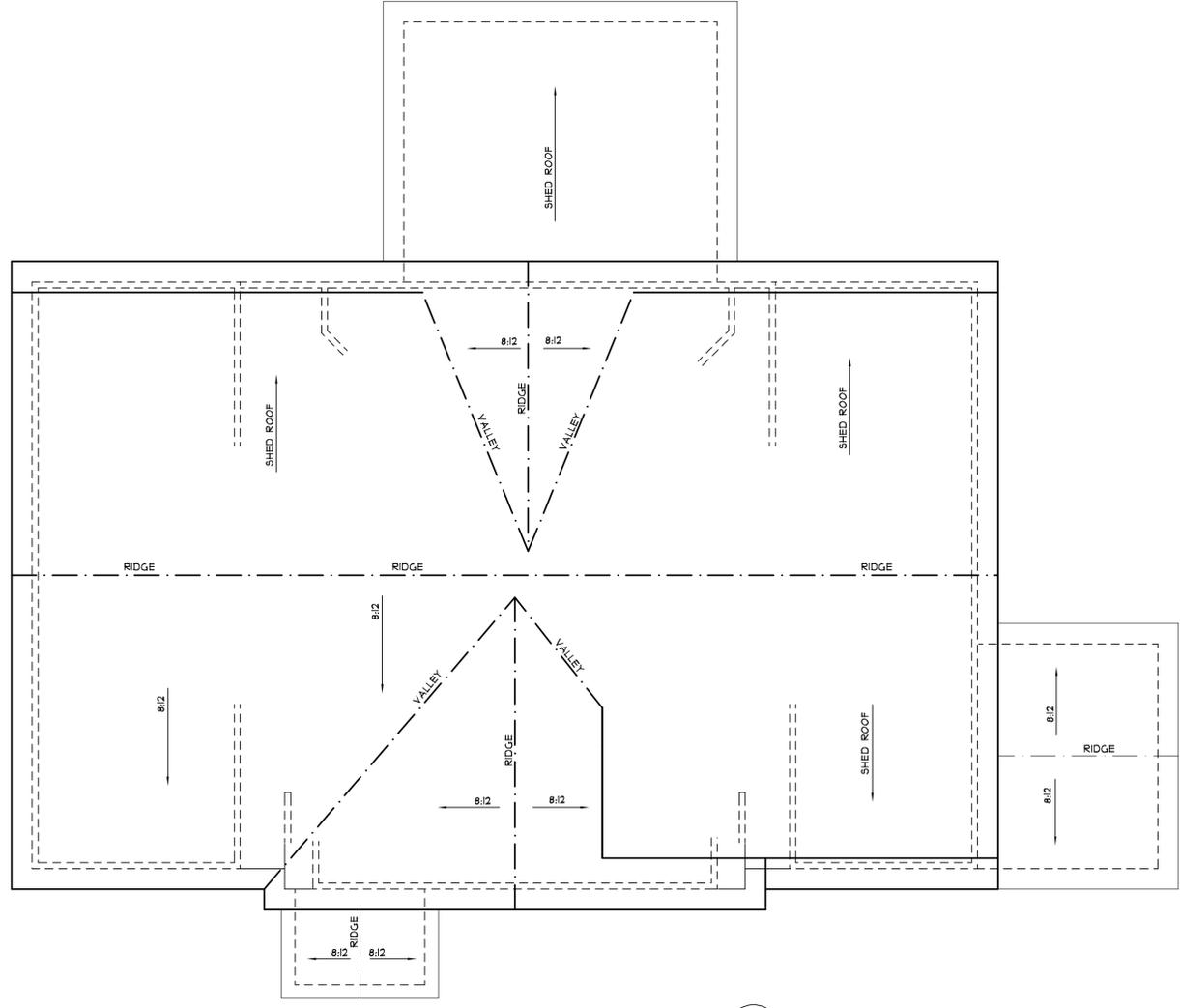
DATE OF THIS PLAN:
 Friday, November 7, 2025

RESIDENTIAL RENOVATION
 LEVEL 3 CONSTRUCTION
 1 SUSSEX ROAD
 AVONDALE ESTATES, GEORGIA 30002

DRAWN	CSK
CHECKED	CSK/TNS
JOB NUMBER	25-036
SCALE	AS NOTED
DATE	10/01/2025
SHEET	A-6.0

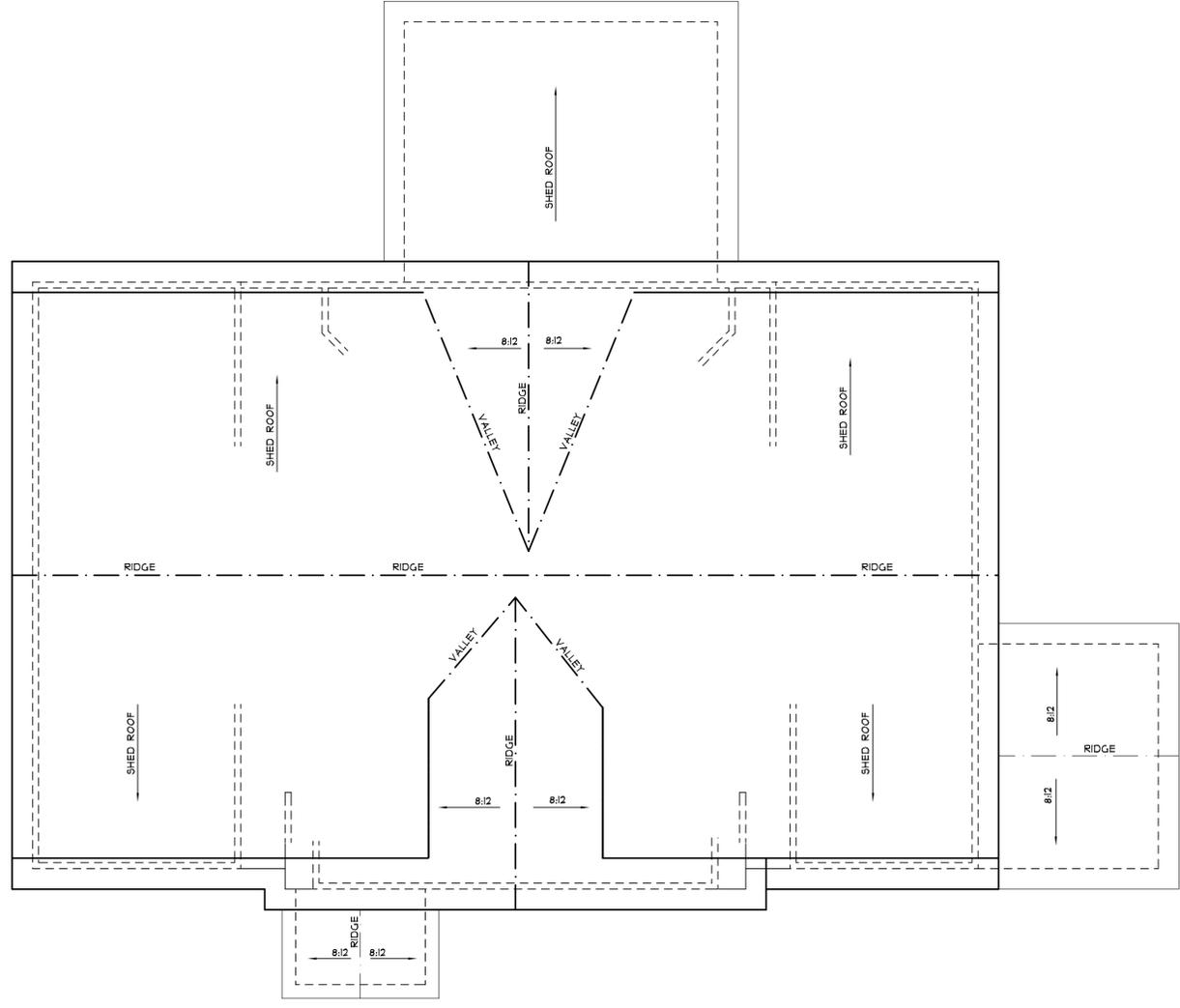


E:\2025\25-036 - Level 3 - Sussex Renovation - 02-05 - LVL 3 - Sussex Architectural



(EXISTING) ROOF PLAN
SCALE: 1/4" = 1'-0"

1



(PROPOSED) ROOF PLAN
SCALE: 1/4" = 1'-0"

2

E:\2025\25-056_Level_3_Sussex_Renovation\25-056_Level_3_Sussex_Architectural

DRAWN	CSK
CHECKED	CSK/TN3
JOB NUMBER	25-056
SCALE	AS NOTED
DATE	10/01/2025
SHEET	

A-1.0
8 OF 8

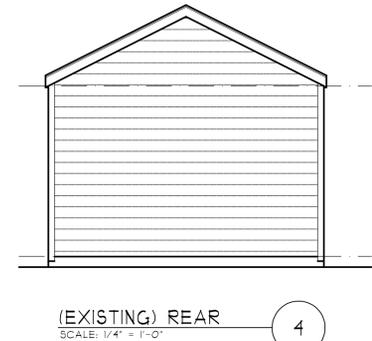
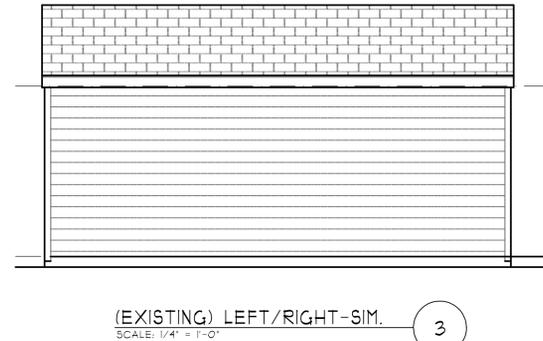
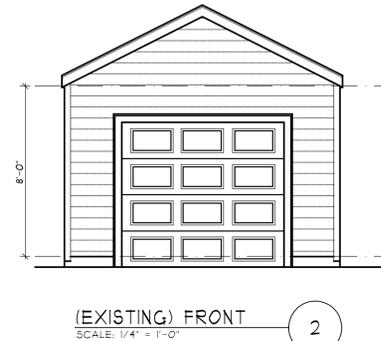
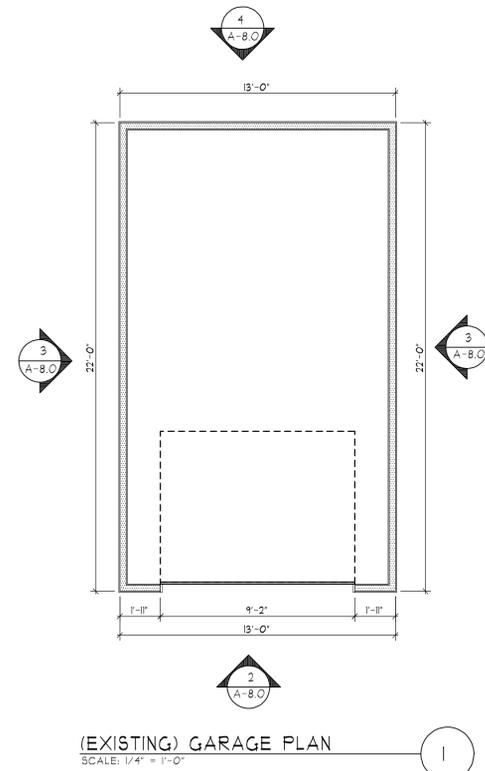
RESIDENTIAL RENOVATION
LEVEL 3 CONSTRUCTION
1 SUSSEX ROAD
AVONDALE ESTATES, GEORGIA 30002

DATE OF THIS PLOT:
Friday, November 7, 2025

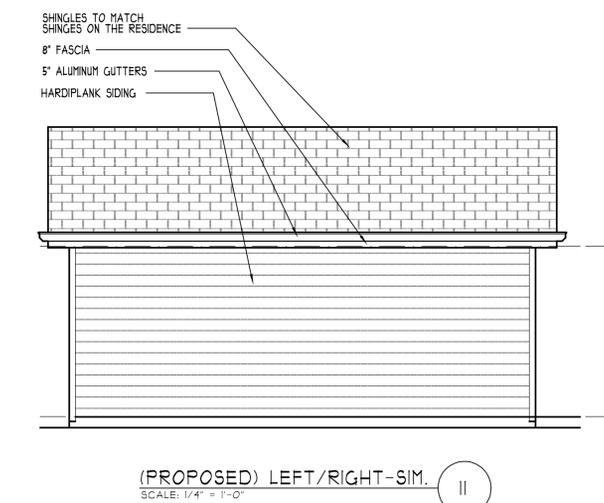
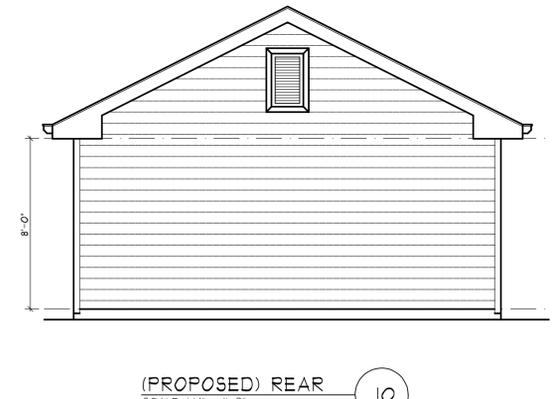
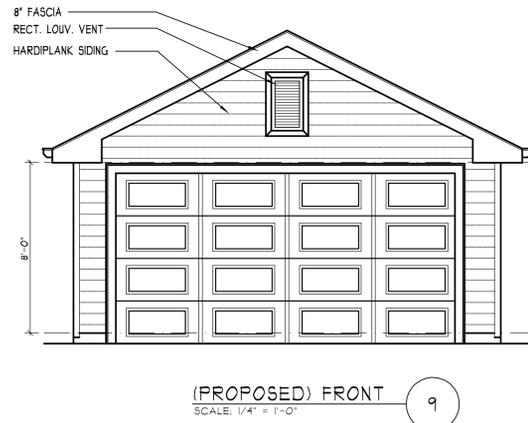
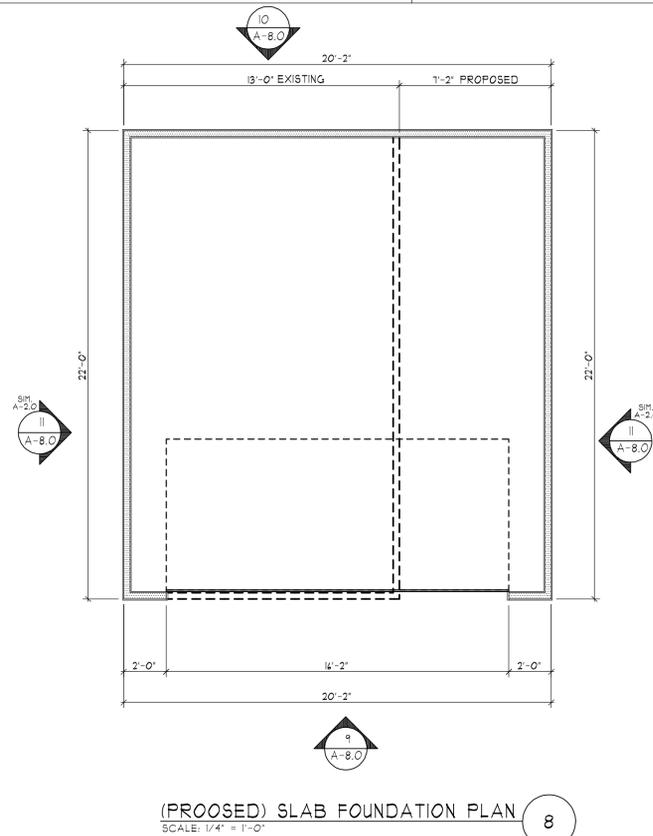
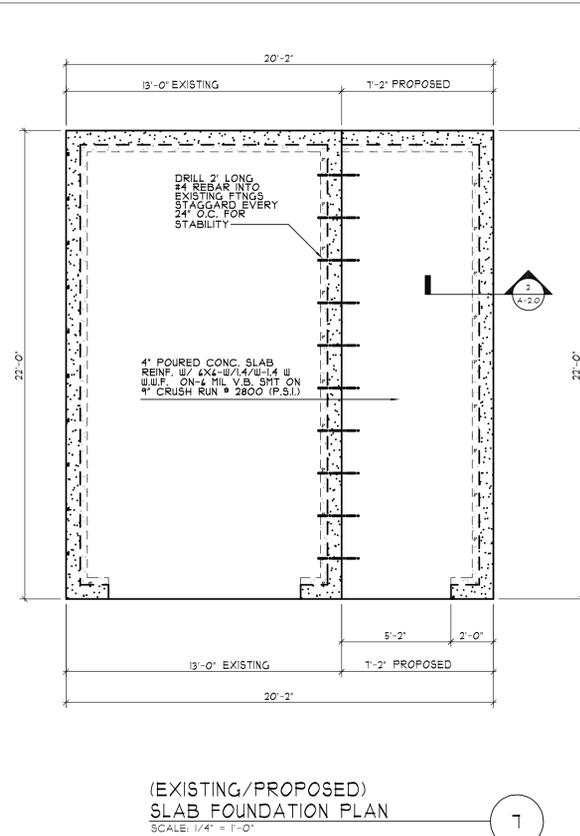
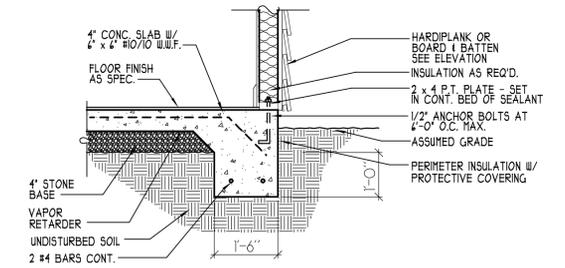
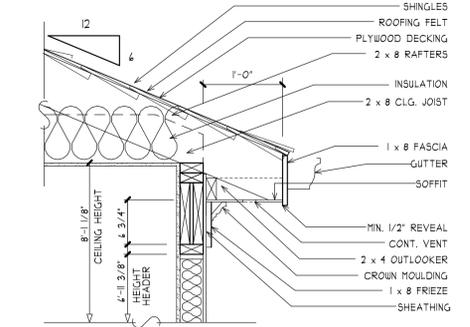
NO.	DATE	REVISIONS DESCRIPTION

SEAL

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SCOPE OF WORK: GARAGE
REMOVE AND REPLACE SIDE OF THE GARAGE AND EXTEND 1'-2". EXTEND CONC. FOUNDATION, REFRAME, REEROOF, SHEETROCK, PAINT, SIDING.



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NO.	DATE	REVISIONS DESCRIPTION

DATE OF THIS PLAN:
Friday, October 3, 2025

RESIDENTIAL RENOVATION
LEVEL 3 CONSTRUCTION
1 SUSSEX ROAD
AVONDALE ESTATES, GEORGIA 30002

DRAWN	CSK
CHECKED	CSK/INJ
JOB NUMBER	25-036
SCALE	AS NOTED
DATE	10/01/2025
SHEET	A-8.0









