

## **PLANNING, ARCHITECTURE, ZONING BOARD**

### **REGULAR MEETING**

**April 21, 2025**

**6:00 p.m.**

**To be held at**

**Avondale Estates City Hall**

**21 N. Avondale Plaza**

**Avondale, Estates, GA 30002**

### **AGENDA**

1. Meeting Called To Order
2. Approval Of Meeting Agenda
3. Approval Of February 24, 2025 PAZB Meeting Minutes
4. Public Hearing To Receive Comment - Development Of Community Impact application submitted by The Paideia School to improve to an existing school sports field complex including converting fields to synthetic turf, rebuilding the field house, interior site upgrades, parking lot revisions, and fencing. The subject property is at 1201 Clarendon Avenue, Avondale Estates, GA 30002 and is zoned O-I (Office-Institutional).

Documents:

[PYTHON PARK DCI APPLICATION FINAL.PDF](#)  
[PAZB VARIANCE STAFF REVIEW - 1201 CLARENDON AVE.PDF](#)

5. Public Hearing To Receive Comment - Concurrent Variance To Sec. 21-6.2.3 to allow a reduction of bicycle parking from 100 spaces to 15 spaces. The subject property is 1201 Clarendon Avenue, Avondale Estates, GA 30002, zoned O-I (Office-Institutional).
6. Public Hearing To Receive Comment - Concurrent Variance To Sec. 21-6.5.1 to allow chain link fencing material around sports fields and allow the existing vehicle gate to be maintained in its current condition. The subject property is 1201 Clarendon Avenue, Avondale Estates, GA 30002, zoned O-I (Office-Institutional).

Documents:

[PYTHON PARK FENCING EXHIBIT 4-3-25.PDF](#)  
[PYTHON PARK FENCING EXHIBIT 4-16-25.PDF](#)

7. Public Hearing To Receive Comment - Concurrent Variance To Sec. 21-6.5.3  
to allow an increase in the height of a fence from 6 feet to 8 feet tall. The subject property is 1201 Clarendon Avenue, Avondale Estates, GA 30002, zoned O-I (Office-Institutional).
8. Recommendation To BOMC- Development Of Community Impact  
application submitted by The Paideia School to improve to an existing school sports field complex including converting fields to synthetic turf, rebuilding the field house, interior site upgrades, parking lot revisions, and fencing, 1201 Clarendon Avenue.
9. Recommendation To BOMC - Concurrent Variance To Sec. 21-6.2.3  
to allow a reduction of bicycle parking from 100 spaces to 15 spaces, 1201 Clarendon Avenue.
10. Recommendation To BOMC - Concurrent Variance To Sec. 21-6.5.1  
to allow chain link fencing material around sports fields and allow the existing vehicle gate to be maintained in its current condition, 1201 Clarendon Avenue.
11. Recommendation To BOMC- Concurrent Variance To Sec. 21-6.5.3  
to allow an increase in the height of a fence from 6 feet to 8 feet tall, 1201 Clarendon Avenue.
12. Other Business
13. Adjournment

## THE PAIDEIA SCHOOL PYTHON PARK

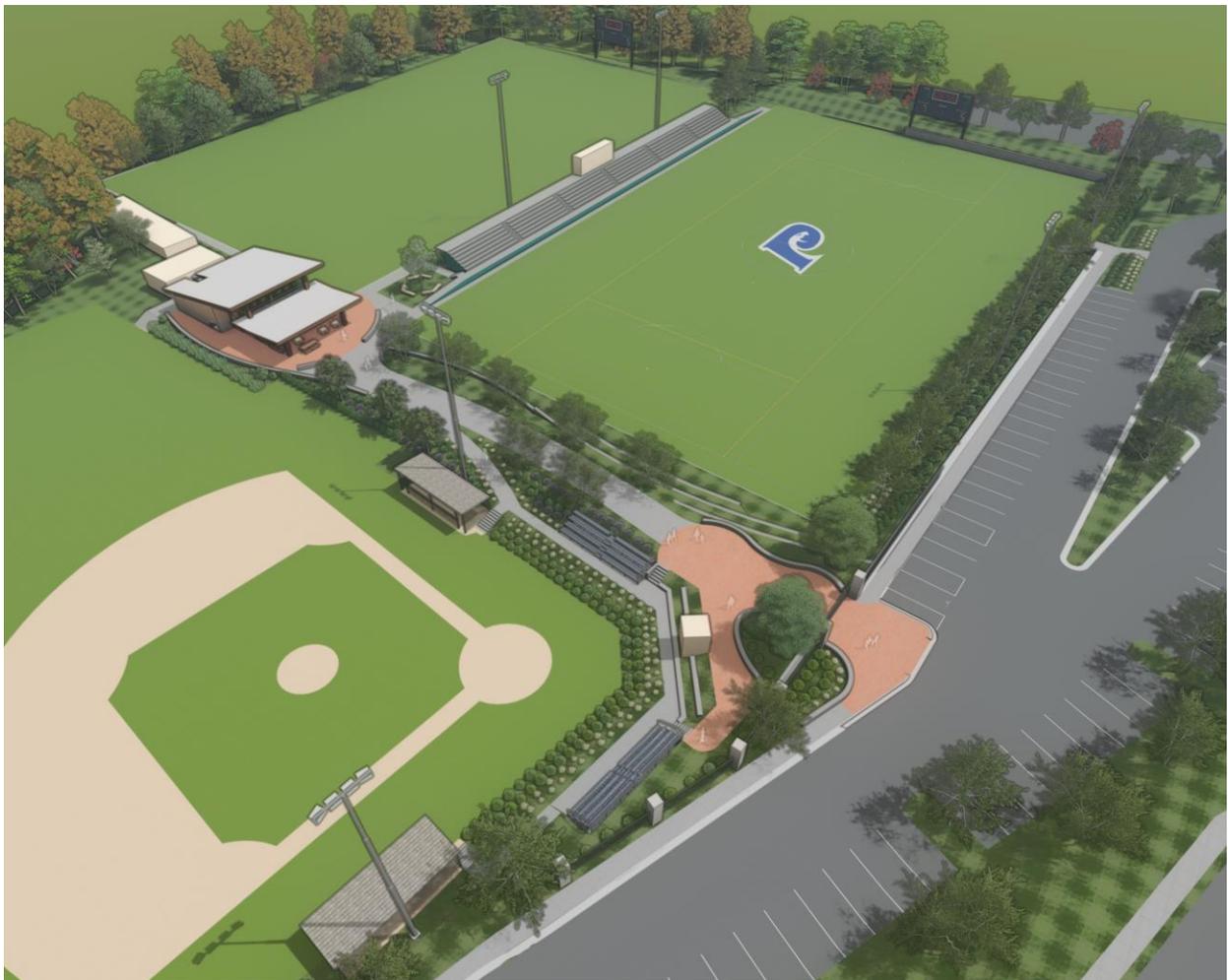
### Development of Community Center Impact Application

City of Avondale Estates 3.21.25

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#### Table of Contents:

- A. Location map
- B. Project Overview
- C. Code Compliance Summary
- D. Requested Variances
- E. Review and Approval Criteria
- F. Appendix



**Python Park Development of Community Impact Application**  
**3.21.25**

**A. Location Map**

The Paideia School's Python Park is located at 1201 Clarendon Ave, Avondale Estates 30002:



A current ground run topographic, utility, tree and boundary survey has been provided as Appendix exhibit 1.

**GENERAL ZONING INFORMATION:**

Parcel ID: 15 217 01 001

Zoning: O-I (Office Institutional)



## **B. Project Overview**

The Paideia School's Python Park is an 11.713-acre sports field complex that supports the baseball, softball, soccer and ultimate programs of the school. The existing facility consists of a baseball field, two multipurpose fields (soccer and ultimate frisbee), a small field house consisting of restrooms, storage and concessions, various bleachers, batting cage, a maintenance shed and parking lot.

The existing park needs improvement to better meet the needs of students, expand seating capacity to better accommodate spectators, address maintenance and operation issues and to provide universal accessibility to all program elements at the park. The proposed renovation includes the following:

### **1) Baseball Field**

- Convert the infield to synthetic turf
- Add sports field lighting
- Improve ADA access to spectator seating
- Add additional seat walls near the press box to expand seating
- Address erosion issues, add new landscaping, fix and paint handrails
- Add windscreens to the outfield fence

### **2) Soccer and Ultimate Frisbee Fields**

- Convert the grass fields to synthetic turf
- Expand the existing fields to create two 65 yard x 110 yard fields with 10' clear zones
- Add sports field lighting to the east soccer and ultimate frisbee field
- Provide two scoreboards at the north extents of the field
- Provide a new 750+ capacity bleacher system and press box facing the eastern field
- Sounds system upgrades to be used during games
- Provide new bleacher seating on the east side of the western field

### **3) Field House**

- Replace the existing field house with a new building
- The new building will have approximately 3,800 square feet of enclosed and open areas under roof, of which approximately 2,000 square feet will be fully conditioned interior spaces.
- Conditioned space includes Men & Women's Changing Rooms, Men & Women's Restrooms, 2 Family Restrooms, Training Room, Referee Office, and Utility Closet.
- A Concession & Storage area, approximately 270 square feet of heated and ventilated space, serving primarily premade items.
- The structure will be a combination of load-bearing CMU and structural steel with some poured concrete, wood composite siding, and storefront system.
- It is anticipated the building will be sprinklered utilizing R-13 or similar system

### **4) Interior Site Upgrades**

- Porous paver plaza space at the top of baseball and around the field house to meet the needs of students, faculty and visitors
- An east/west pedestrian walk that can also serve as emergency vehicle to the fields and new field house



## Python Park Development of Community Impact Application

### 3.21.25

- Passive seating including grass hills and seat walls
- Structured seating that includes movable furniture and wood benches
- Increased shade provided by new canopy trees and a shade structure at the pedestrian entrance to the athletics complex
- Enhanced landscaping with an emphasis on native and drought tolerant plant material
- New aluminum fencing along the east side of the athletics complex, between the fields and parking lot.
- Bike racks for users
- Pedestrian scale site lighting
- Wayfinding signage

#### 5) Parking Lot Improvements

- Upgrade ADA spaces to be code compliant and more centrally located to the park entrance gate
- Improve the center island by adding 20 additional parking spaces for a total of 91 for the entire lot (This will also deter visitors from parking on landscape areas)
- Address erosion concerns along the hillside east of the parking lot

#### Python Park Operations Schedule:

Python Park will be used by the Paideia School as follows:

Daily-	9am-8pm throughout the year.
Night games-	9-9:30pm depending on length of game, delays, overtime etc.
Lights/Sound-	9-9:30pm depending on length of game, delays, overtime etc.

#### Paideia School Seasons:

##### Fall:

Junior High Ultimate and Junior High Boys Soccer- Sept 1-Oct 31  
Night games- 4-5 contest per team, per Fall season

##### Spring:

Junior High and Varsity, Girls and Boys Sports- Jan 1<sup>st</sup>- May 31<sup>st</sup>

##### Spring Night Games-

Soccer- Varsity, 7 games each boys and girls, Junior High 4 games each boys and girls.

Ultimate- 4-5 games each for all 4 teams (Varsity and Junior High boys and girls)

Baseball- 10-12 games

##### Playoff Night Games (TBD each season):

Soccer/Baseball- max 3 games per sport in May

Ultimate playoffs are off site

No nighttime rental of the complex- if that changes, all City code requirements will be met



**Python Park Development of Community Impact Application**  
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**C. Code Compliance Summary**

The Paideia School Python Park renovation will exceed the O-I zoning criteria in many ways, as summarized below:

REGULATION	COMMERCIAL DISTRICTS											
	O-I Requirements	Paideia Python Park										
Minimum Lot Area (sq. ft.)	20,000	516,506.41										
Minimum Lot Frontage (ft.)	100	986.79										
<b>Minimum Buffer as per Existing Land Use (ft.)</b>												
Street Front and Street Side (East)	0'	25.28'										
Interior Side (North)	0'	14.73'										
Interior Side (South)	0'	72.55'										
Rear (West)	20'	43.36'										
Maximum Lot Coverage (%)	80	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Allowable area</td> <td>413,205.12</td> </tr> <tr> <td>Impervious Area</td> <td>61,557.49</td> </tr> <tr> <td>Building Area</td> <td>2286.85</td> </tr> <tr> <td>Synthetic Turf Area</td> <td>174,887.00</td> </tr> <tr> <td><b>Total Proposed Area</b></td> <td><b>238,731.34</b></td> </tr> </table>	Allowable area	413,205.12	Impervious Area	61,557.49	Building Area	2286.85	Synthetic Turf Area	174,887.00	<b>Total Proposed Area</b>	<b>238,731.34</b>
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Building Area	2286.85											
Synthetic Turf Area	174,887.00											
<b>Total Proposed Area</b>	<b>238,731.34</b>											
Maximum Building Height (ft.)	45	20.5										
Minimum Open space required	10% of Site area	51,650.64										
Open space Provided		469,550.65										

The project will also exceed code required minimums for tree canopy coverage and parking lot landscaping, as summarized below:

<b>CANOPY COVERAGE CALCULATIONS</b>	
Protected Lot area (sq. ft.)	270948.68
As per sec. 5-413 of Chapter 5 Article X Div. 2 this property is required to achieve a minimum of forty (40) percent coverage of the protected lot area of the subject property by healthy, mature trees after construction is complete.	
40% of Protected Lot Area (sq. ft.)	108379.47
Existing Tree Canopy Coverage (sq. ft.)	81513.71
Recompense Canopy Required (sq. ft.)	26865.76 sq. ft. or 15 Greater Canopy trees

<b>PARKING LOT LANDSCAPING CALCULATIONS</b>	
Parking Lot area (sq. ft.)	44668.92
As per sec. 5-413 of Chapter 5 Article X Div. 2 this property is required to have a landscaped pervious area consisting of trees, shrubbery, ground cover, sod and mulch no less than 10% of the interior area of a parking lot.	
10% of Parking Lot Area (sq. ft.)	4466.9
Proposed Pervious Area (sq. ft.)	4661.2



**Python Park Development of Community Impact Application**  
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In terms of parking, Python Park will not exceed maximum parking requirements for motor vehicles:

REGULATION	PARKING SPACES REQUIREMENT	
	O-I	Paideia Python Park
Maximum Ratio for Motor Vehicle Spaces	0.5 per Seat	91 Spaces Provided
Minimum Ratio for Bicycle Spaces	0.1 Per Seat	15 Spaces Provided

A variance will need to be obtained to allow 15 bicycle spaces, as opposed to the 100 required by code.

There are two new program elements proposed to be included in the renovation that currently do not exist, sports field lighting and a sound system to assist with the announcing of sporting events. It is the goal of the project to meet or exceed City requirements:

Outdoor Lighting- Sec. 21-6.7.2

The project will meet or exceed the City of Ordinances

Noise- Sec. 12-4.2. - Disturbing the peace; commercial areas.

The project will meet or exceed the City of Ordinances

These, and all other City codes, are expected to be met as part of the renovation, except for two areas the project is requesting a variance for.



#### **D. Variances Requested**

The Paideia School Python Park renovation is requesting three variances as part of this application. They are:

- Variance to Sec. 21-6.5.1 to allow for existing chain link fence to be allowed, new chain link fence to be used around the new multi-purpose field and the existing vehicle gate to be maintained in its current condition.
- Variance to Sec. 21-6.5.3. - Non-residential fences and walls, to allow for new 8' tall fences around the site, consistent with existing fences.
- Variance to Sec. 21-6.2.3- Bicycle parking to allow for 15 spaces as opposed to 100.

#### **Variance Request to Sec. 21-5.1, Fencing Material and Sec. 21-6.5.3, Fencing Height:**

Currently, City code does not allow for chain link fences or vehicle gates. Both exist at Python Park. The variance request is asking for the existing fence and vehicular gate to be allowed and that new fencing around the multi-use sports field be chain link matching the same height as the existing fence.

The renovation is proposing new 8' aluminum fencing at the main entrance between the fields and the parking lot but it is otherwise proposing to keep or replace the existing chain link.

Please refer to Appendix exhibits for limits of new and proposed fencing.

#### **Variance Request to Sec. 21-6.2.3, Bicycle Parking:**

It is anticipated that when a soccer or ultimate frisbee event is held, as many as one thousand seats will be available at the main bleachers and passive seat walls facing the east field. Chapter 21, Article 6, Division 6.2, Sec. 21-6.2.3 requires 100 bicycle parking spaces for 1000 seats.

Larger events requiring 1000 seats will be relatively rare at Python Park (see project overview) and many guests will be visiting from locales well outside the City of Avondale Estates or adjacent areas that are bicycle accessible. Thus a variance is being requested to provide 15 bicycle parking spaces to meet daily needs.



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**E. Review and Approval Criteria**

The Paideia School and Breedlove Land Planning believe that the renovation of Python Park conforms with the review and approval criteria necessary for a development of community impact for the following reasons:

- A. Design shall be in harmony with the general character of the neighborhood and surrounding area, considering factors such as mass, placement, height, changing land use patterns, and consistency of exterior architectural treatment, especially in areas of historic and special design interest.

**For over 30 years, Python Park has existed within the City of Avondale Estates. No new land use or zoning is being requested. The variances being requested are related to existing conditions. All other aspects of the project will meet the City Code of Ordinances.**

- B. Design components shall be planned such that they are physically and aesthetically related and coordinated with other elements of the project and surrounding environment to ensure visual continuity of design.

**Design components will largely stay in the same location as their current locations. Where the multipurpose field enlargements are being proposed, existing vegetation will be maintained at a larger width than City buffer requirements.**

- C. Design shall protect scenic views, particularly those of open space, and utilize natural features of the site.

**The proposed project preserves existing vegetation at a great width than City buffer requirements, meets all canopy coverage requirements and vastly exceeds City open space requirements.**

- D. Design shall protect adjacent properties from negative visual and functional impacts.

**All adjacent properties to the south, west and north will abut natural, undisturbed buffers greater than code Requires. Noise and light impacts will be designed to meet or exceed City code requirements. Traffic impacts will be negligible as only 20 additional spaces are being proposed.**

E. Design shall respect the historical character of the immediate area as integral parts of community life in the city and shall protect and preserve structures and spaces which provide a significant link within these areas.

**No new land use or zoning is being requested. Sidewalks, curb cuts and entrances are being preserved in their existing location.**

- F. All exterior forms, attached to buildings or not, shall be in conformity with, and secondary to, the building.

**The goal of the project is to create a harmonious campus that speaks to the character of The Paideia School and the City of Avondale Estates. Please refer to the appendix for renderings and images.**



**Python Park Development of Community Impact Application**  
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G. The proposed development is suitable in view of the use and development of adjacent and nearby property.

**Python Park is existing, and no new land use or zoning is being requested.**

H. The proposed development does not adversely affect the existing use or usability of adjacent or nearby property.

**Through the preservation of existing vegetation, and compliance with code for lighting and noise, the project will not affect the existing use or usability of adjacent properties.**

G. The proposed development does not result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities or schools.

**No excessive burden will be placed on public resources, including streets, utilities schools or other such facilities.**

H. The proposed development is in conformance with the applicable zoning district.

**O-I zoning allows for the existing and proposed use.**

K. The proposed development is in conformance with the provisions of the future development plan articulated in the city's comprehensive plan and any sub-area plan.

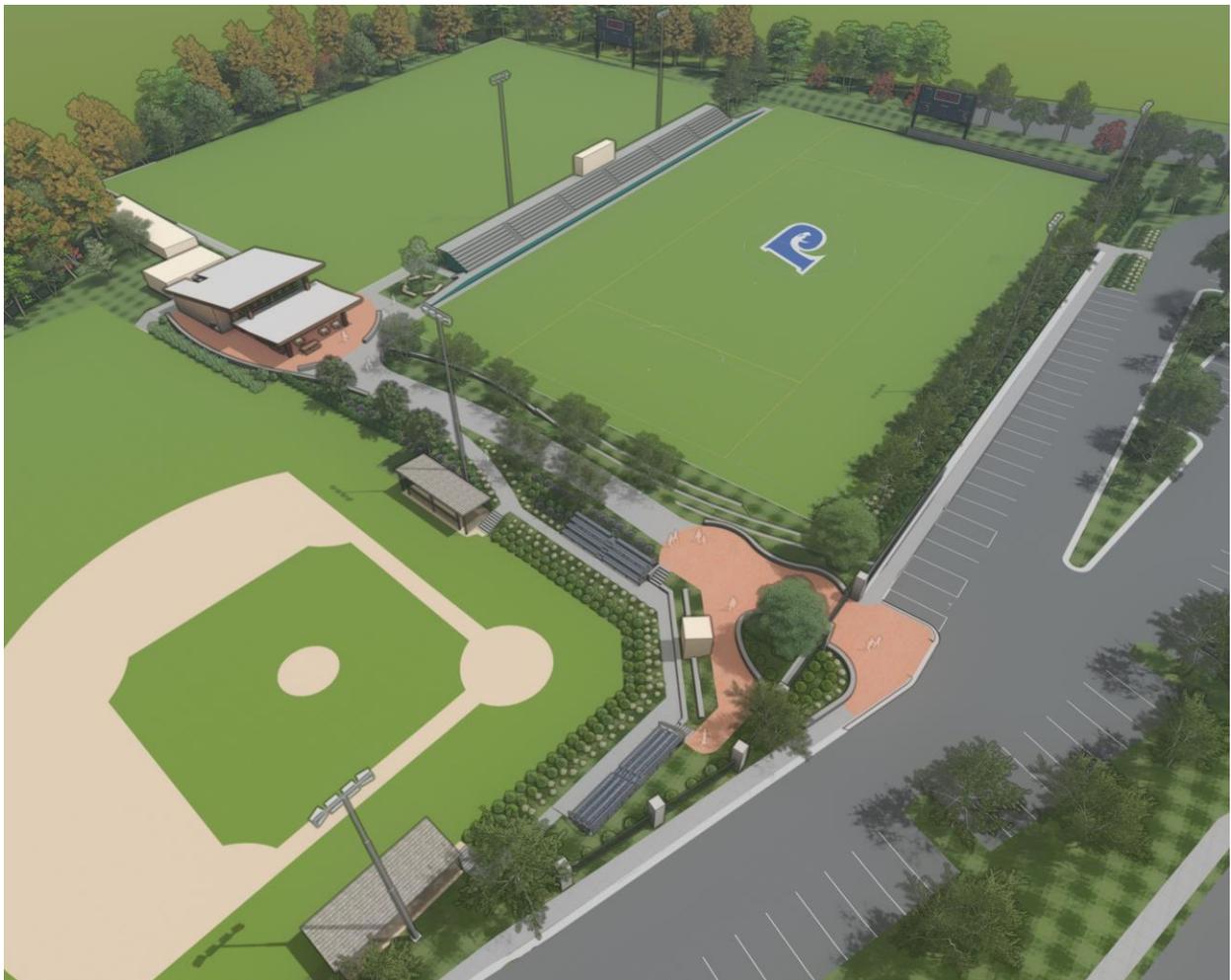
**The City's comprehensive plan identifies this area's character use as educational, which will remain.**



**Python Park Development of Community Impact Application**  
**3.21.25**

**F. Appendix**

1. Site Survey
2. Project Renderings
3. Project Site Plans
  - Existing Conditions
  - Limits of Demolition
  - Layout Plan
  - Grading Plan
  - Drainage Plan
  - Utility Plan
  - Tree Protection and Planting Plan
4. Architectural Plans



VICINITY MAP: (NOT TO SCALE)



GENERAL NOTES:

1. THE TOPOGRAPHIC PORTION OF THIS PLAN AND ALL WORK ASSOCIATED WITH IT WAS PERFORMED BY PATRIOT SURVEYING & INFRASTRUCTURE PURSUANT TO A PROFESSIONAL SERVICES CONTRACT DATED OCTOBER 2024. THE BOUNDARY PORTION OF THIS PLAN AND ALL WORK ASSOCIATED WITH IT WAS PERFORMED BY PATRIOT SURVEYING & INFRASTRUCTURE PURSUANT TO A PROFESSIONAL SERVICES CONTRACT DATED FEBRUARY 2025.
2. THE TOPOGRAPHIC PLAN IS THE RESULT OF A FIELD SURVEY CONDUCTED BY PATRIOT SURVEYING & INFRASTRUCTURE BETWEEN OCTOBER 16 THRU OCTOBER 24, 2024. THE BOUNDARY PLAN IS THE RESULT OF A FIELD SURVEY CONDUCTED BY PATRIOT SURVEYING & INFRASTRUCTURE BETWEEN FEBRUARY 10, 2025 THRU FEBRUARY 11, 2025.
3. THE FIELD DATA UPON WHICH THIS SURVEY IS BASED HAS A CLOSURE OF ONE FOOT IN 42,323 FEET AN ANGULAR ERROR OF 1 SECOND PER ANGLE.
4. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 541,369 FEET.
5. ELEVATIONS SHOWN HEREON, IF ANY, ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) [GEOID18].
6. THIS SURVEY IS RELATIVE TO THE GEORGIA STATE PLANE COORDINATE SYSTEM, GEORGIA WEST AS REFERENCED TO NAD83(2011) HORIZONTAL.
7. BEARINGS AND COORDINATES FOR WERE DERIVED FROM NETWORK ADJUSTED REAL TIME KINETIC MEASUREMENTS USING A TRIMBLE R12 GPS RECEIVER. THE GPS SURVEY INCLUDED REDUNDANT MEASUREMENTS WITH POSITIONAL ACCURACY BETTER THAN 0.05".
8. ANGULAR AND LINEAR MEASUREMENTS WERE MADE USING A TRIMBLE S5 TOTAL STATION.
9. THIS PROPERTY IS NOT LOCATED WITHIN A F.E.M.A (FEDERAL EMERGENCY MANAGEMENT ASSOCIATION) FLOOD HAZARD ZONE AS PER F.I.R.M. (FLOOD INSURANCE RATE MAP) 13089C0069J, PANEL 069 FOF 089, WITH AN EFFECTIVE DATE OF MAY 16, 2013, DEKALB COUNTY, GEORGIA.
10. FLOOD HAZARD INFORMATION SHOWN HEREON OBTAINED VIA ONLINE FROM THE NATIONAL FLOOD HAZARD LAYER (NFHL) VIEWER. (<https://www.fema.gov/flood-maps/national-flood-hazard-layer>)
11. A SUBSURFACE UTILITY INVESTIGATION HAS BEEN PERFORMED BY PATRIOT SURVEYING & INFRASTRUCTURE PLC. THIS INFORMATION IS PROVIDED FOR DESIGN PURPOSES ONLY AND STATE811 SHOULD BE CONTACTED PRIOR TO COMMENCING ANY EXCAVATION. (800-282-7411).
  - a. UTILITIES NOTED AS "SUE D" WERE DERIVED FROM EXISTING RECORDS AND ORAL RECOLLECTIONS.
  - b. UTILITIES NOTED AS "SUE C" WERE OBTAINED BY MATCHING THE "SUE D" INFORMATION TO THE ABOVE GROUND, VISIBLE, EVIDENCE OF THE UTILITY.
  - c. UTILITIES NOTED AS "SUE B" WERE OBTAINED BY MATCHING THE "SUE C & D" INFORMATION TO MARKERS PLACED BY GEOPHYSICAL METHODS TO DETERMINE THE HORIZONTAL LOCATION OF THE UTILITY.
  - d. THE ACCURACY OF SUBSURFACE UTILITY LOCATION IS LIMITED TO THE CONDUCTIVITY OF THE UTILITY BEING LOCATED. UTILITIES MAY BE ENCOUNTERED THAT ARE NOT A PART OF THIS SURVEY.
13. THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED IN THE TITLE BLOCK. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITH THE EXPRESSED CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS OR ENTITY.

LEGEND:

PIPE	—○—
COMPUTED POINT	●
REBAR	—●—
UTILITY POLE	—○—
SQUARE CATCH BASIN	□
CURB INLET/HEADWALL	□
LIGHT POST	⊕
TRANSFORMER	⊕
SEWER CLEAN-OUT	⊕
SEWER MANHOLE	⊕
IRRIGATION CONTROL BOX	⊕
IRRIGATION SHUT-OFF	⊕
HYDRANT	⊕
DIRECTION ARROW SYMBOL	→
HANDICAPPED SYMBOL	♿
CONTROL	⊕
FENCE POST	⊕
GATE POST	⊕
SINGLE POST SIGN	⊕
CONIFEROUS TREE	◆
DECIDUOUS TREE	◆
ADJACENT LOT LINE	---
ADJACENT R.O.W. LINE	---
COMPILED BOUNDARY LINE	---
STORM DRAIN LINE	SD
ELECTRIC LINE (SUE LEVEL B)	E(B)
WATER LINE (SUE LEVEL B)	W(B)
SANITARY SEWER LINE	SS
OVERHEAD WIRE	OHW
PAINT STRIPING	---
CURBING	---
EDGE OF PAVEMENT	---
BUILDING	▨
METAL FENCE	—x—x—x—
MAJOR CONTOUR	---
MINOR CONTOUR	---
EDGE OF CONCRETE	---
EDGE OF RETAINING WALL	---



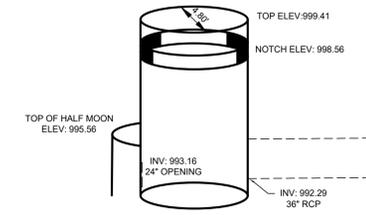
Know what's below.  
Call before you dig.

ALL THE IMPROVEMENTS & FACILITIES AND UTILITIES, ABOVE GROUND AND UNDERGROUND SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE. NONEXISTENCE, ELEVATION, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER IMPROVEMENTS, FACILITIES, OR UTILITIES. THE GENERAL CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION & ELEVATION OF ALL IMPROVEMENTS, FACILITIES, & UTILITIES, SHOWN OR NOT SHOWN, AND SAID IMPROVEMENTS, FACILITIES, & UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF ANY IMPROVEMENTS.

CALL GEORGIA ONE-CALL, 811 OR 1-800-282-7411

OCS DETAIL & PHOTO

NOT TO SCALE



Appendix  
Exhibit 1



LINE #	LENGTH	BEARING
L1	49.89'	S25°56'06"W
L2	1.20'	S12°01'06"W
L3	7.37'	S37°39'58"W

SURVEYOR'S CERTIFICATE:

THE PROPERTY HEREON LIES COMPLETELY WITHIN A JURISDICTION WHICH DOES NOT REVIEW OR APPROVE ANY PLATS OR THIS TYPE OF PLAT PRIOR TO RECORDING. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR TOPOGRAPHIC SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

*Michael G. High*

MICHAEL G. HIGH  
REGISTERED LAND SURVEYOR  
NO. 2986 - STATE OF GEORGIA



REVISIONS:

NO.	DATE	APPROVED FOR SUBMITTAL	CLIENT COMMENTS	ADDED PROPERTY BOUNDARY
0	11-05-2024			
1	11-15-2024			
2	02-21-2025			

PREPARED FOR:  
**THE PADIA SCHOOL INC.**  
1509 S PONCE DE LEON AVENUE NE, ATLANTA, GA 30307

**PATRIOT SURVEYING & INFRASTRUCTURE**  
Patriot Surveying & Infrastructure, P.L.C.  
205 CREEKSTONE RIDGE, WOODSTOCK, GA 30188 TEL: 1-800-270-4229

TOPOGRAPHIC SURVEY  
OF PROPERTY LOCATED ON  
**121 CLARENDON AVENUE,  
AVONDALE ESTATES,  
DEKALB COUNTY,  
STATE OF GEORGIA**

DATE: 11-06-24  
SCALE: 1" = 60'  
PROJECT: 00170023  
FILE: 0010023-BASE  
CHECK: MSH  
CALC: MAS  
DRAW: MAS  
SHEET 1 OF 1

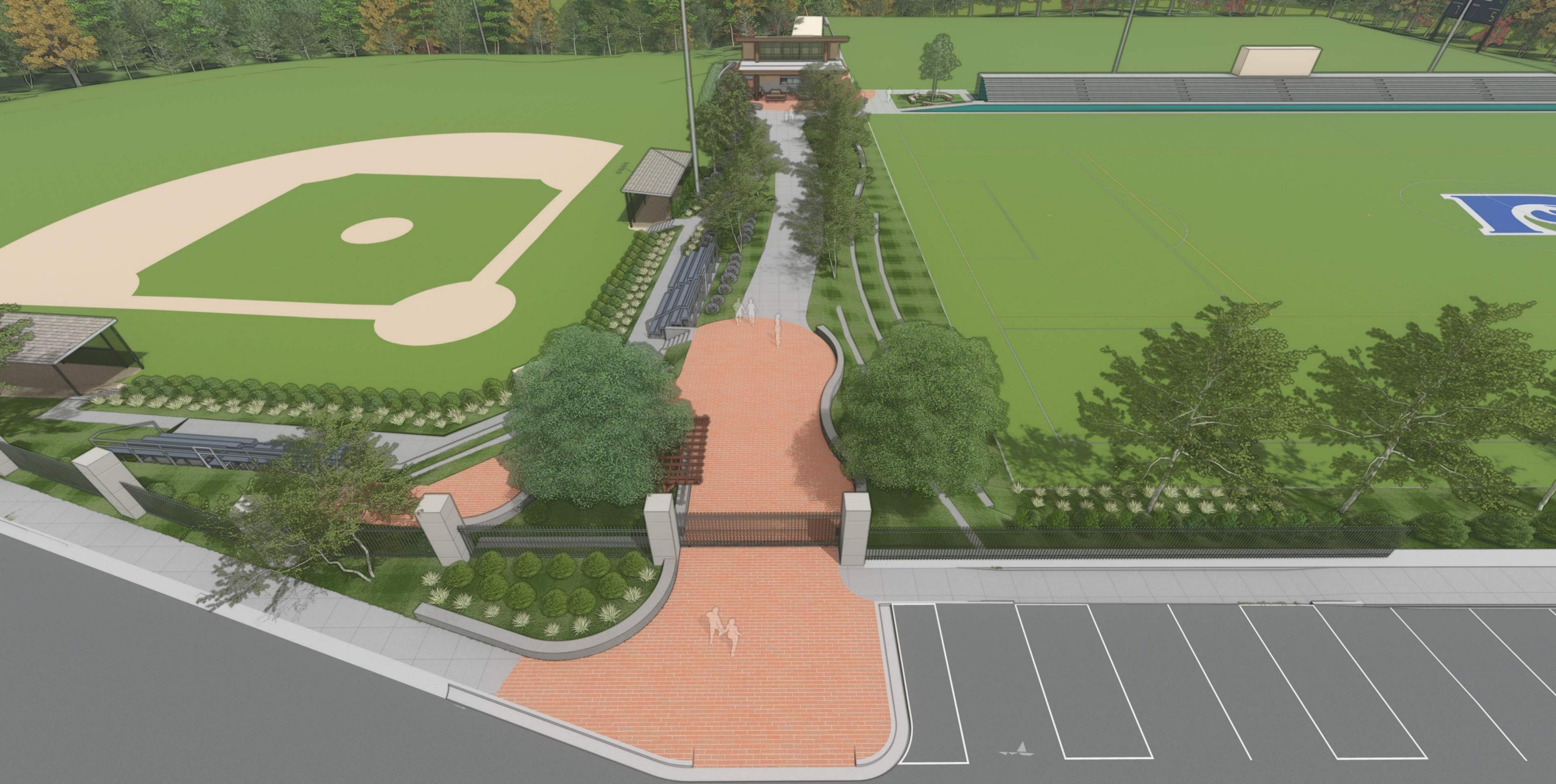


**PAIDEIA SCHOOL PYTHON PARK RENOVATION**

Appendix Exhibit 2

03.20.2025





**PAIDEIA SCHOOL PYTHON PARK RENOVATION**

Appendix Exhibit 2

03.20.2025





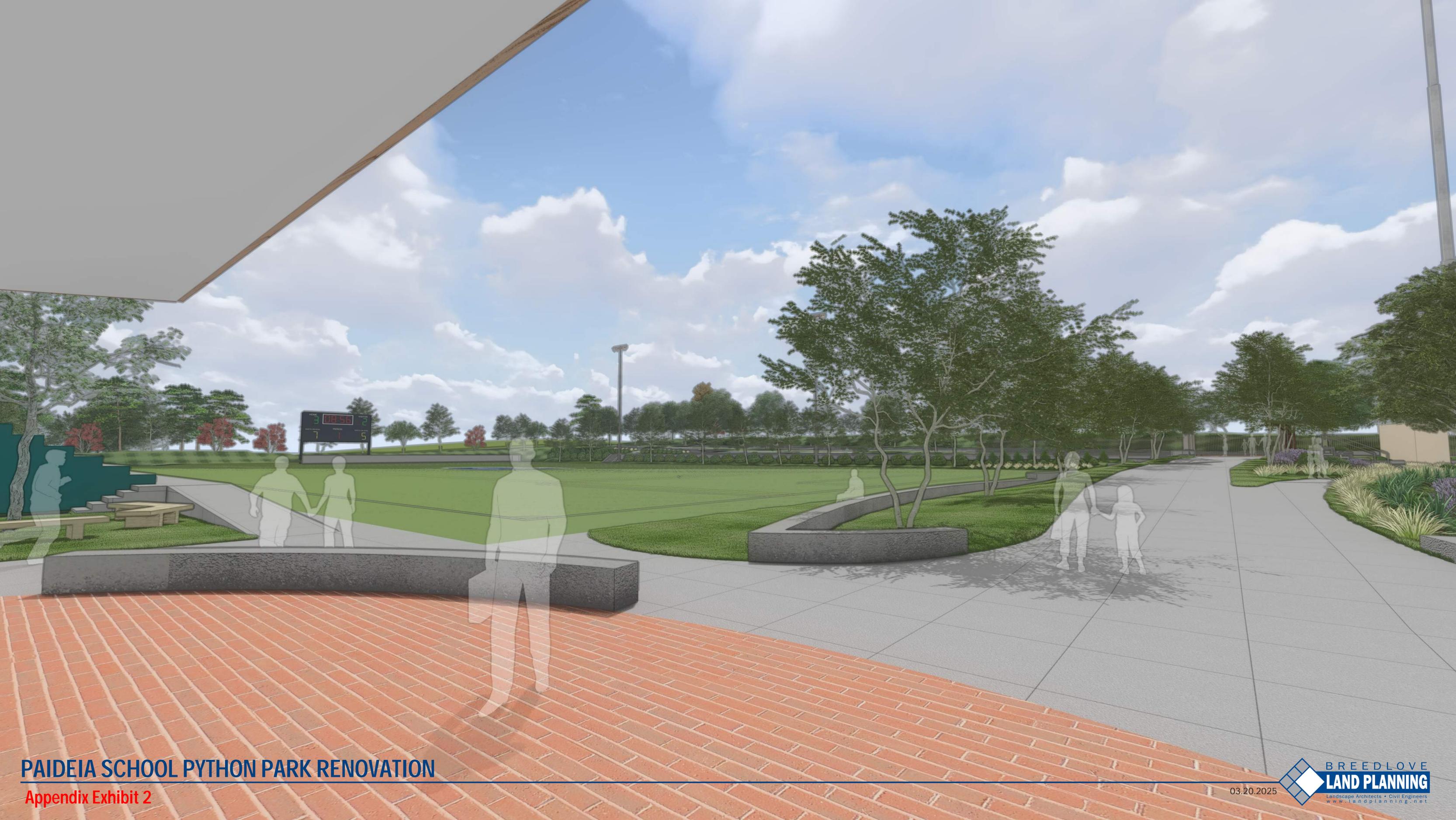
**PAIDEIA SCHOOL PYTHON PARK RENOVATION**

Appendix Exhibit 2

03.20.2025







**PAIDEIA SCHOOL PYTHON PARK RENOVATION**

Appendix Exhibit 2

03.20.2025





**PAIDEIA SCHOOL PYTHON PARK RENOVATION**

*Appendix Exhibit 2*

11.29.2025



**PAIDEIA SCHOOL PYTHON PARK RENOVATION**

Appendix Exhibit 2

03.20.2025



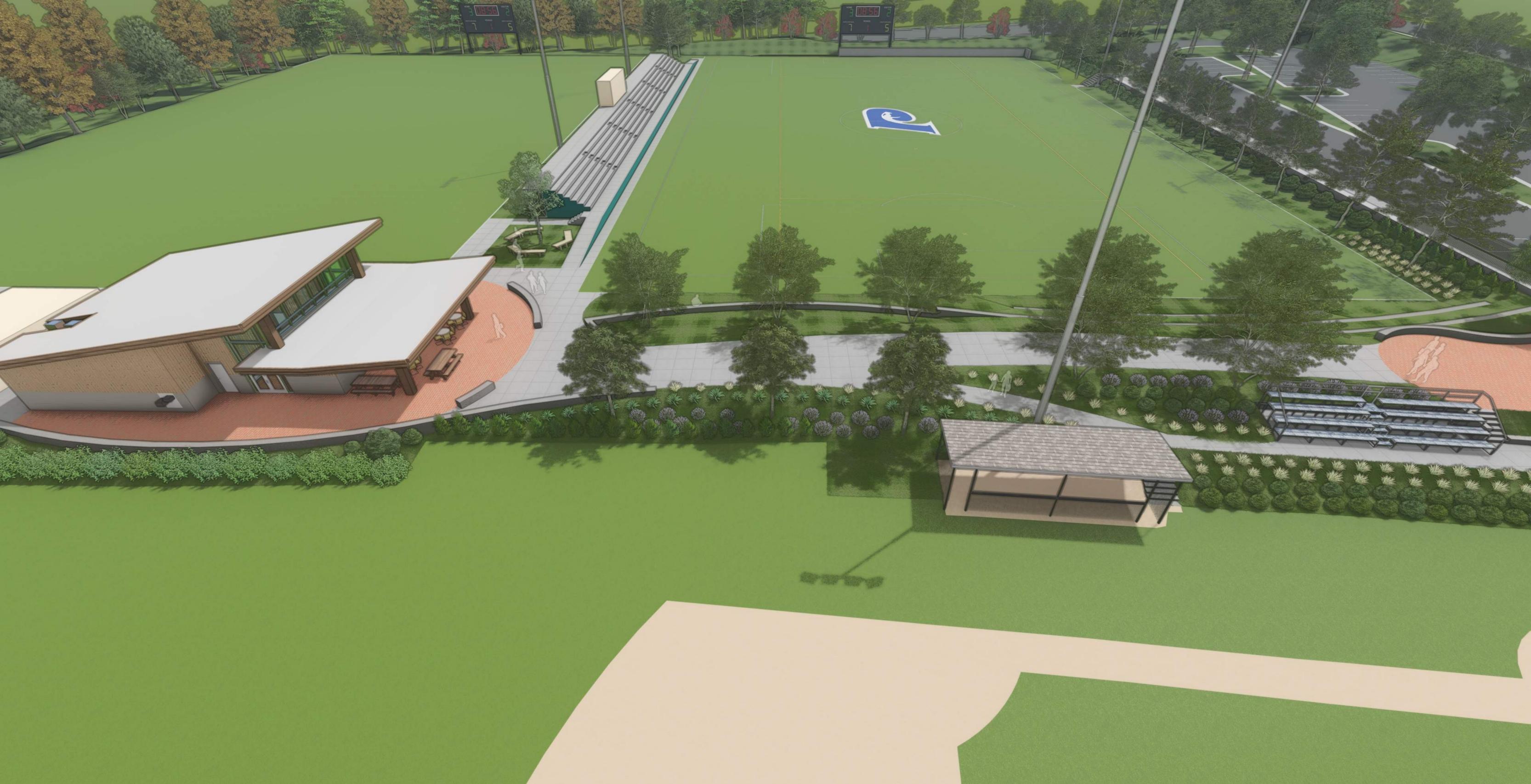


**PAIDEIA SCHOOL PYTHON PARK RENOVATION**

Appendix Exhibit 2

03.20.2025



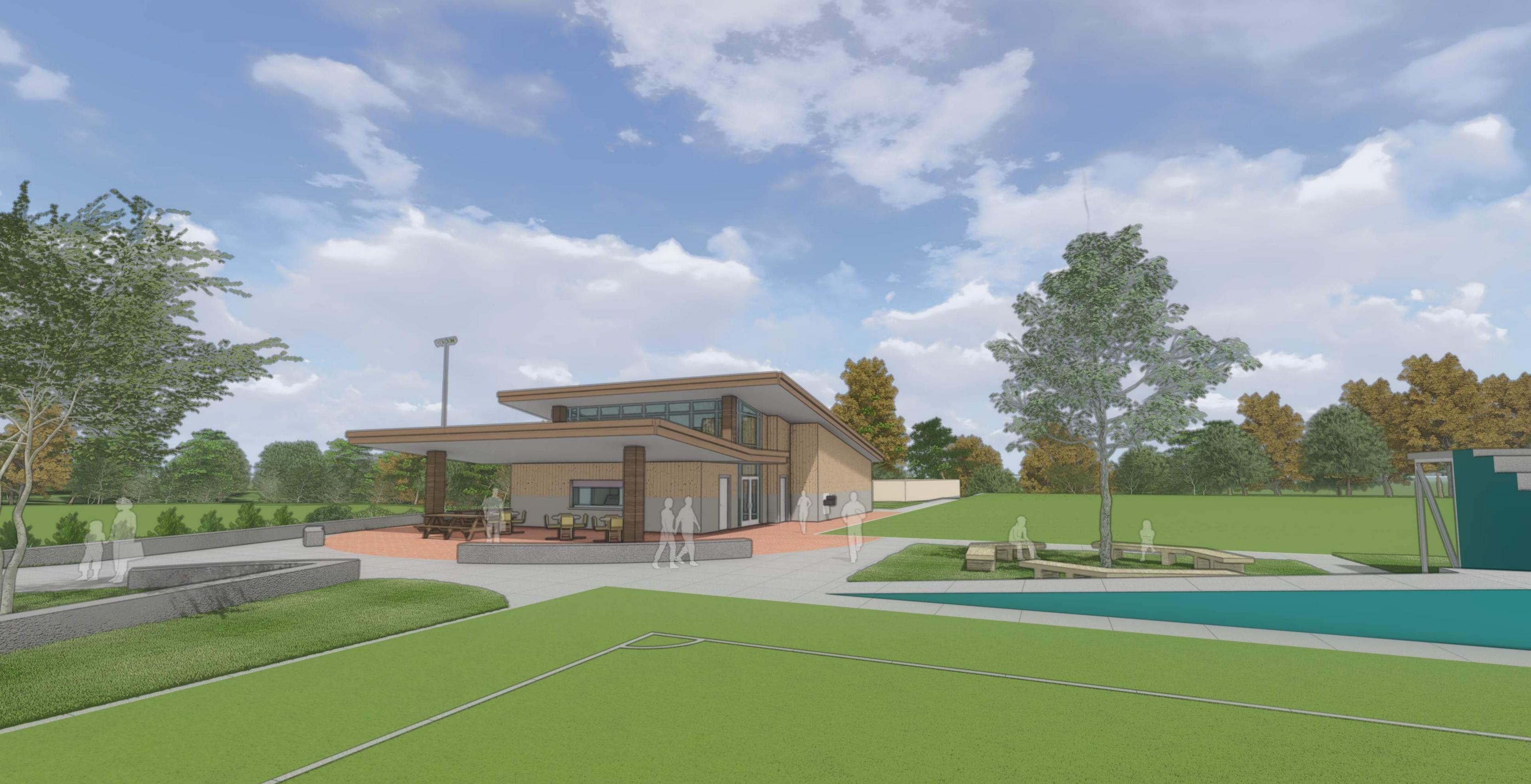


**PAIDEIA SCHOOL PYTHON PARK RENOVATION**

Appendix Exhibit 2

03.20.2025







VICINITY MAP: (NOT TO SCALE)



GENERAL NOTES:

- 1. THE TOPOGRAPHIC PORTION OF THIS PLAN AND ALL WORK ASSOCIATED WITH IT WAS PERFORMED BY PATRIOT SURVEYING & INFRASTRUCTURE PURSUANT TO A PROFESSIONAL SERVICES CONTRACT DATED OCTOBER 2024. THE BOUNDARY PORTION OF THIS PLAN AND ALL WORK ASSOCIATED WITH IT WAS PERFORMED BY PATRIOT SURVEYING & INFRASTRUCTURE PURSUANT TO A PROFESSIONAL SERVICES CONTRACT DATED FEBRUARY 2025.

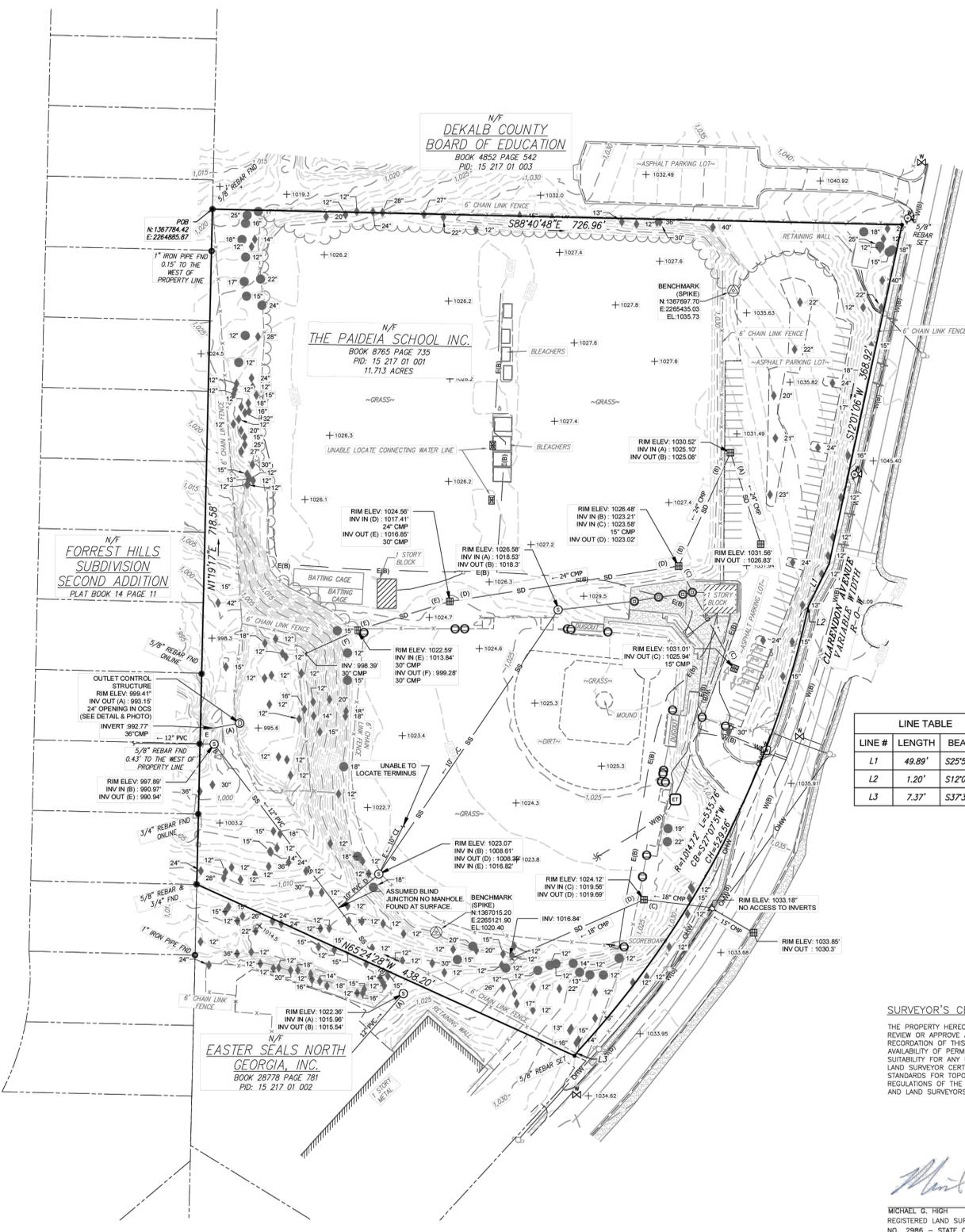
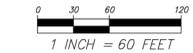
LEGEND:

Legend table listing symbols for various features: PIPE, COMPUTED POINT, REBAR, UTILITY POLE, SQUARE CATCH BASIN, CURB INLET/HEADWALL, LIGHT POST, TRANSFORMER, SEWER CLEAN-OUT, SEWER MANHOLE, IRRIGATION CONTROL BOX, IRRIGATION SHUT-OFF, HYDRANT, DIRECTION ARROW SYMBOL, HANDICAPPED SYMBOL, CONTROL, FENCE POST, GATE POST, SINGLE POST SIGN, CONIFEROUS TREE, DECIDUOUS TREE, ADJACENT LOT LINE, ADJACENT R.O.W. LINE, COMPILED BOUNDARY LINE, STORM DRAIN LINE, ELECTRIC LINE (SUE LEVEL B), WATER LINE (SUE LEVEL B), SANITARY SEWER LINE, OVERHEAD WIRE, PAINT STRIPING, CURBING, EDGE OF PAVEMENT, BUILDING, METAL FENCE, MAJOR CONTOUR, MINOR CONTOUR, EDGE OF CONCRETE, EDGE OF RETAINING WALL.



ALL THE IMPROVEMENTS & FACILITIES AND UTILITIES, ABOVE GROUND AND UNDERGROUND SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE. NONEXISTENCE, ELEVATION, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER IMPROVEMENTS, FACILITIES, OR UTILITIES, THE GENERAL CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION & ELEVATION OF ALL IMPROVEMENTS, FACILITIES, & UTILITIES, SHOWN OR NOT SHOWN, AND SAID IMPROVEMENTS, FACILITIES, & UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF ANY IMPROVEMENTS.

CALL GEORGIA ONE-CALL, 811 OR 1-800-282-7411



LINE TABLE table with columns: LINE #, LENGTH, BEARING. Rows: L1 (49.89', S25°56'06\"

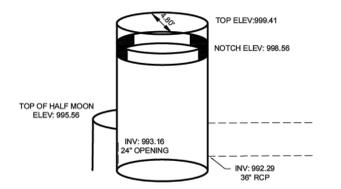
SURVEYOR'S CERTIFICATE:

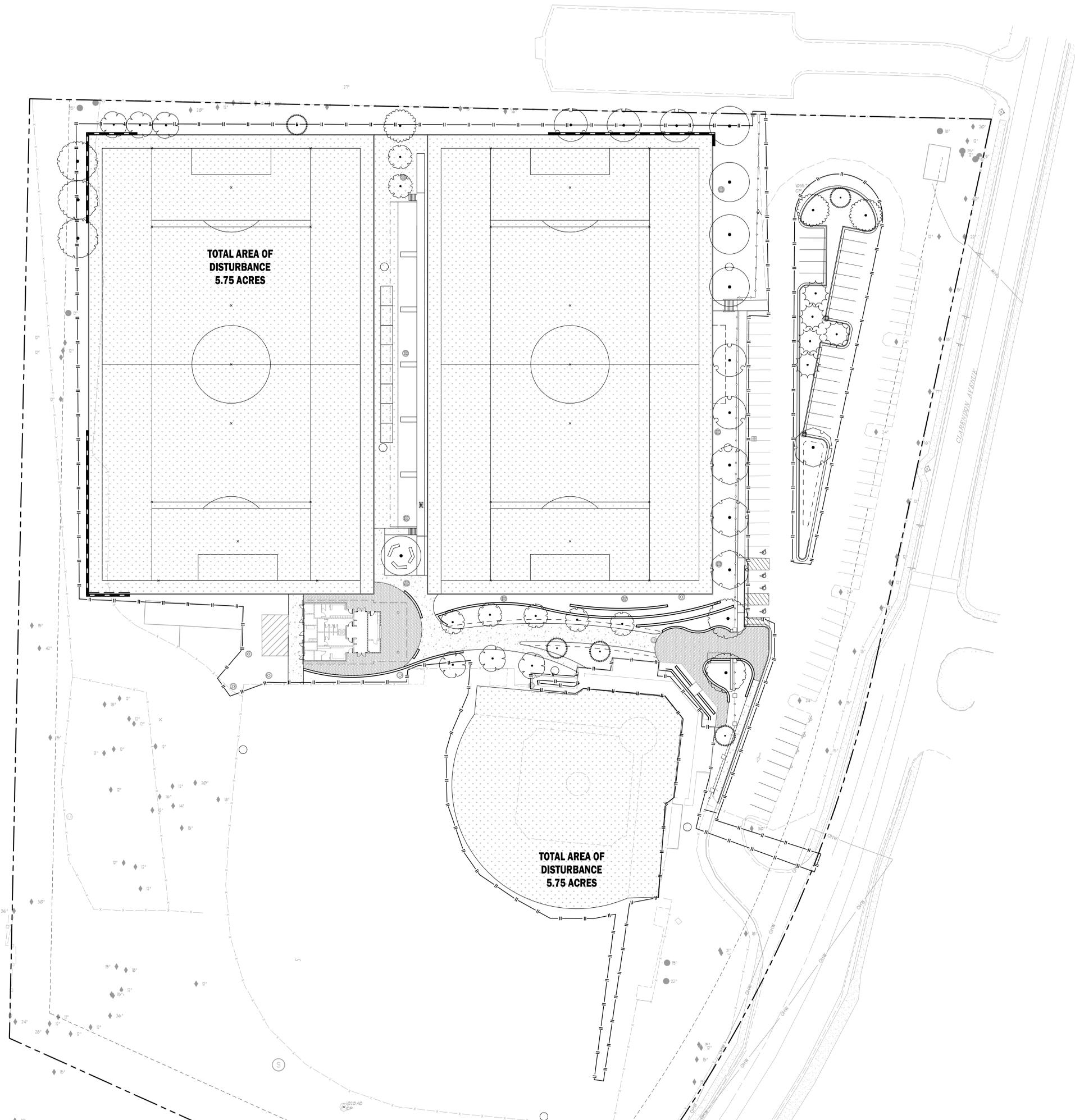
THE PROPERTY HEREON LIES COMPLETELY WITHIN A JURISDICTION WHICH DOES NOT REVIEW OR APPROVE ANY PLATS OR THIS TYPE OF PLAT PRIOR TO RECORDING. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR TOPOGRAPHIC SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

Signature of Michael G. High

MICHAEL G. HIGH REGISTERED LAND SURVEYOR NO. 2986 - STATE OF GEORGIA

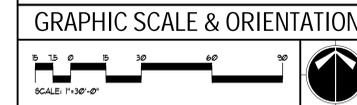
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**UTILITY LOCATION NOTES**

- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES.
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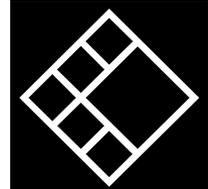
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**CALL BEFORE YOU DIG**

**GEORGIA811**  
www.Georgia811.com

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Phone: 770-483-1173

Civil Engineers  
Landscape Architects

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RENOVATION**  
1201 CLARENDON AVE.,  
AVONDALE ESTATES, GA 30002

**REVISIONS**

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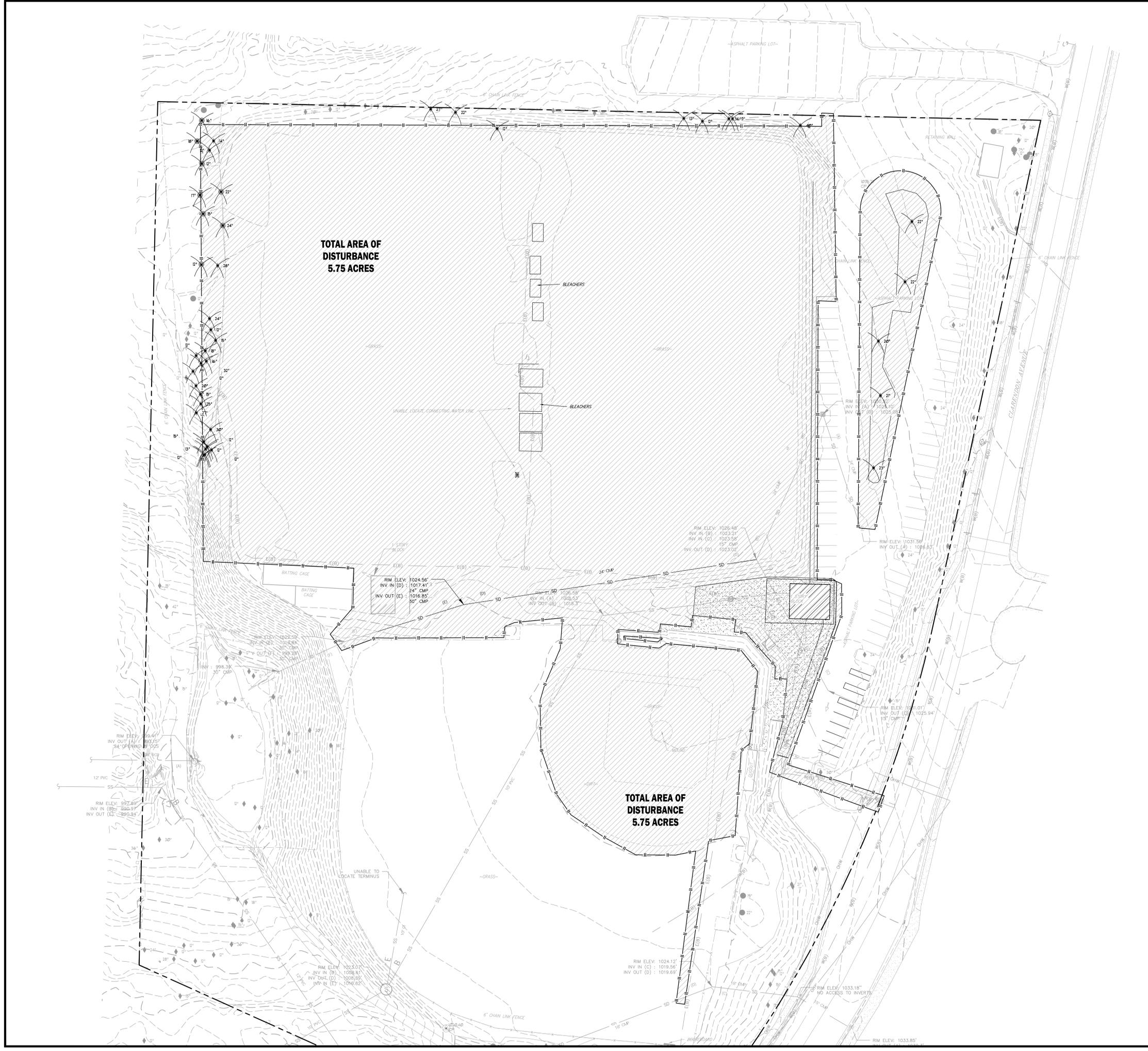
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BLP, INC. PROJECT NO.: 24136  
DATE: 03-21-2025  
DRAWING BY: XXX  
CHECKED BY: CB

**OVERALL SITE PLAN**  
**C050**

CONSULTANT  
SEAL  
SHEET#



**GENERAL DEMOLITION NOTES**

- CONTRACTOR SHALL REFER TO PHASING SECTION OF THE SPECIFICATIONS. ALL DEMOLITION SHALL BE COORDINATED WITH PHASING.
- WORK DONE AHEAD OF SEQUENCE OR FOR TEMPORARY PROVISIONS SHALL HAVE EXISTING DISTURBED SURFACES PATCHED TO MATCH ORIGINAL CONDITIONS UNTIL NEW CONSTRUCTION REPLACES SUCH REPAIRS OR MODIFICATIONS.
- CONTRACTOR SHALL PROVIDE NECESSARY EROSION CONTROL MEASURES DURING THE DEMOLITION PHASE OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL ITEMS REMOVED FROM SITE. DISPOSAL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES. THERE SHALL BE NO ON-SITE BURNING OF DEBRIS GENERATED FROM CONSTRUCTION ACTIVITIES.
- UNLESS OTHERWISE NOTED, EXISTING ITEMS WITHIN THE PROJECT LIMITS WILL BE RETAINED IN PLACE AND PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PERIOD. ANY FACILITIES THAT ARE DAMAGED WILL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS/HER EXPENSE.
- CONTRACTOR SHALL SAVE & PROTECT ALL BUILDINGS, FOUNDATIONS, CANOPIES, FENCES & PLAY EQUIPMENT ETC. ON THE PROPERTY UNLESS OTHERWISE NOTED. DAMAGE SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- CONTRACTOR SHALL SAVE AND PROTECT ALL EXISTING STORM DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL FENCING WITHIN LIMITS OF WORK UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE WITH OWNER THE REMOVAL ANY EXISTING LANDSCAPE MATERIALS OR SITE FEATURES WHICH THE OWNER ELECTS TO RETAIN.
- CONTRACTOR SHALL ACCOMPLISH DEMOLITION WITHIN THE DRAINAGE OF EXISTING DRAINAGE TRENCHES BY UTILIZING HAND LABOR PROCEDURES WITHOUT DAMAGING THE ROOT SYSTEM OF TREE.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN SAFE, CLEARLY MARKED PEDESTRIAN ACCESS ROUTES TO ALL BUILDING ENTRANCES THROUGHOUT ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDINGS AT ALL TIMES.
- LIMITS OF CURB AND GUTTER DEMOLITION ARE SUBJECT TO THE NEAREST CONSTRUCTION JOINT.
- CURB AND GUTTER AND WALKS SHALL BE REPAIRED TO THE NEAREST CONSTRUCTION JOINT.
- CONTRACTOR SHALL PROVIDE ABRASION SAW CUTS PRIOR TO DEMOLITION ADJACENT TO ALL PAVEMENT AREAS TO BE REMOVED TO PROVIDE A CLEAN EDGE THAT RESULT IN ADDITIONAL DEMOLITION AND NEW PAVEMENT INSTALLATION PAID FOR AND EXECUTED BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OR RELOCATION (AT HIS/HER EXPENSE) OF EXISTING ITEMS THAT CONFLICT WITH NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL AND/OR RELOCATION OF ALL ITEMS WHERE NEW PAVING IS LOCATED.
- CONTRACTOR SHALL REPAIR TO EXISTING CONDITIONS ANY PAVING OR SITE FEATURE REMOVED OR DAMAGED DURING INSTALLATION OF NEW RAIN LEADERS, UTILITIES OR OTHER NEW SITE FEATURES.
- CONTRACTOR SHALL RELOCATE OR ADJUST AS NECESSARY ALL EXISTING UTILITY APPURTENANCES (CLEAN OUTS, VALVE/REAR BOXES AND/OR COVERS, MANHOLES, ETC.) LOCATED WITHIN THE LIMITS OF CONSTRUCTION TO FINISHED GRADE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COORDINATE THE REMOVAL AND OR RELOCATION OF EXISTING GAS AND WATER METERS, VALVES, PRESSURE, TELEPHONE AND CABLE LINES THAT SERVE THE EXISTING BUILDINGS WITH THE APPROPRIATE UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING IMMEDIATELY ANY DAMAGE TO AN ACTIVE UTILITY.
- REFER TO SITE UTILITY PLANS FOR RELOCATION, REMOVAL, ABANDONMENT, AND/OR MODIFICATION OF ALL EXISTING PIPING FEATURES ON SITE.

**DEMOLITION LEGEND**

1	TO BE REMOVED BY THE CONTRACTOR OR AT THE CONTRACTOR'S EXPENSE
2	TO BE REMOVED BY THE CONTRACTOR OR AT THE CONTRACTOR'S EXPENSE AND TURNED OVER TO THE OWNER FOR REUSE
3	TO BE REMOVED BY OWNER
4	RELOCATE AS NECESSARY (RAN) AND/OR ADJUST AS NECESSARY AT THE CONTRACTOR'S EXPENSE
5	TO BE REMOVED, RELOCATED, MODIFIED OR ADJUSTED BY OTHERS
6	SAW CUT LINE
7	TO BE REMOVED BY CONTRACTOR OR AT THE CONTRACTOR'S EXPENSE AND RETURNED FOR REUSE AT THIS SITE
8	SAVE & PROTECT DURING CONSTRUCTION
9	CONCRETE WALKS, CONCRETE STAIRS, CONCRETE RAFTERS OR OTHER CONC. PAVEMENT REMOVAL LIMITS (DEMOLISH & REMOVE PAVEMENTS TO SUBGRADE)
10	ASPHALT PAVEMENT REMOVAL LIMITS (DEMOLISH & REMOVE PAVEMENTS TO SUBGRADE)
11	GRAVEL REMOVAL LIMITS (DEMOLISH & REMOVE TO SUBGRADE)
12	BUILDING STRUCTURE DEMOLITION LIMITS (CONTRACTOR SHALL COORDINATE WITH ARCHITECT FOR REMOVAL OF ALL BUILDING UTILITIES WITH ARCHITECT & MEP)
13	CONCRETE CURB AND GUTTER REMOVAL LIMITS (CONTRACTOR SHALL REPAIR TO NEAREST CONSTRUCTION JOINT)
14	LIMITS OF CONSTRUCTION ACTIVITY
15	TREE REMOVAL AREA
16	TREE SAVE AREA
17	EXISTING TREE TO BE REMOVED

**UTILITY LOCATION NOTES**

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**GRAPHIC SCALE & ORIENTATION**



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Phone: 770-483-1173

Civil Engineers  
Landscape Architects

PAIDEIA PYTHON PARK  
RENOVATION  
1201 CLARENDON AVE.,  
AVONDALE ESTATES, GA 30002

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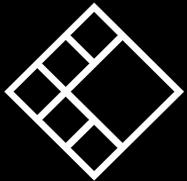
**Appendix Exhibit 3**

BLP, INC. PROJECT NO: 24136  
DATE: 03-21-2025  
DRAWING BY: XXX  
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**SITE DEMOLITION PLAN**

**C100**  
SHEET #

CONSULTANT  
SEAL



1020 OLD BISHOP ROAD, BISHOP GA 30621  
Phone: 770-483-1173

Civil Engineers

Landscape Architects

Breedlove Land Planning, Inc.

BLP, INC. PROJECT NO: 24136  
DATE: 03-21-2025  
DRAWING BY: XXX  
CHECKED BY: CB

SITE LAYOUT AND STAKING PLAN  
SHEET TITLE  
C200  
SHEET#

CONSULTANT

SEAL

**PAIDEIA PYTHON PARK  
RENOVATION  
1201 CLARENDON AVE.,  
AVONDALE ESTATES, GA 30002**

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BLP, INC. PROJECT NO: 24136  
DATE: 03-21-2025  
DRAWING BY: XXX  
CHECKED BY: CB

SITE LAYOUT AND STAKING PLAN  
SHEET TITLE  
C200  
SHEET#

### GENERAL LAYOUT NOTES

1. PROPOSED BUILDING USE: TURF PLAYGROUND
2. CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED.
3. CONTRACTOR SHALL STAKE ALL BUILDING CORNERS AND OBTAIN ARCHITECT'S APPROVAL BEFORE POURING ANY FOOTINGS.
4. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
5. ALL DIMENSIONS ARE TO THE FACE OF CURBS AND FACE OF WALLS.
6. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
7. CURBS AND GUTTER RADI ARE 5' UNLESS OTHERWISE NOTED.

### PAVING LEGEND

- CONCRETE WALK
- POROUS BRICK PAVING
- SYNTHETIC TURF

### UTILITY LOCATION NOTES

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### GRAPHIC SCALE & ORIENTATION



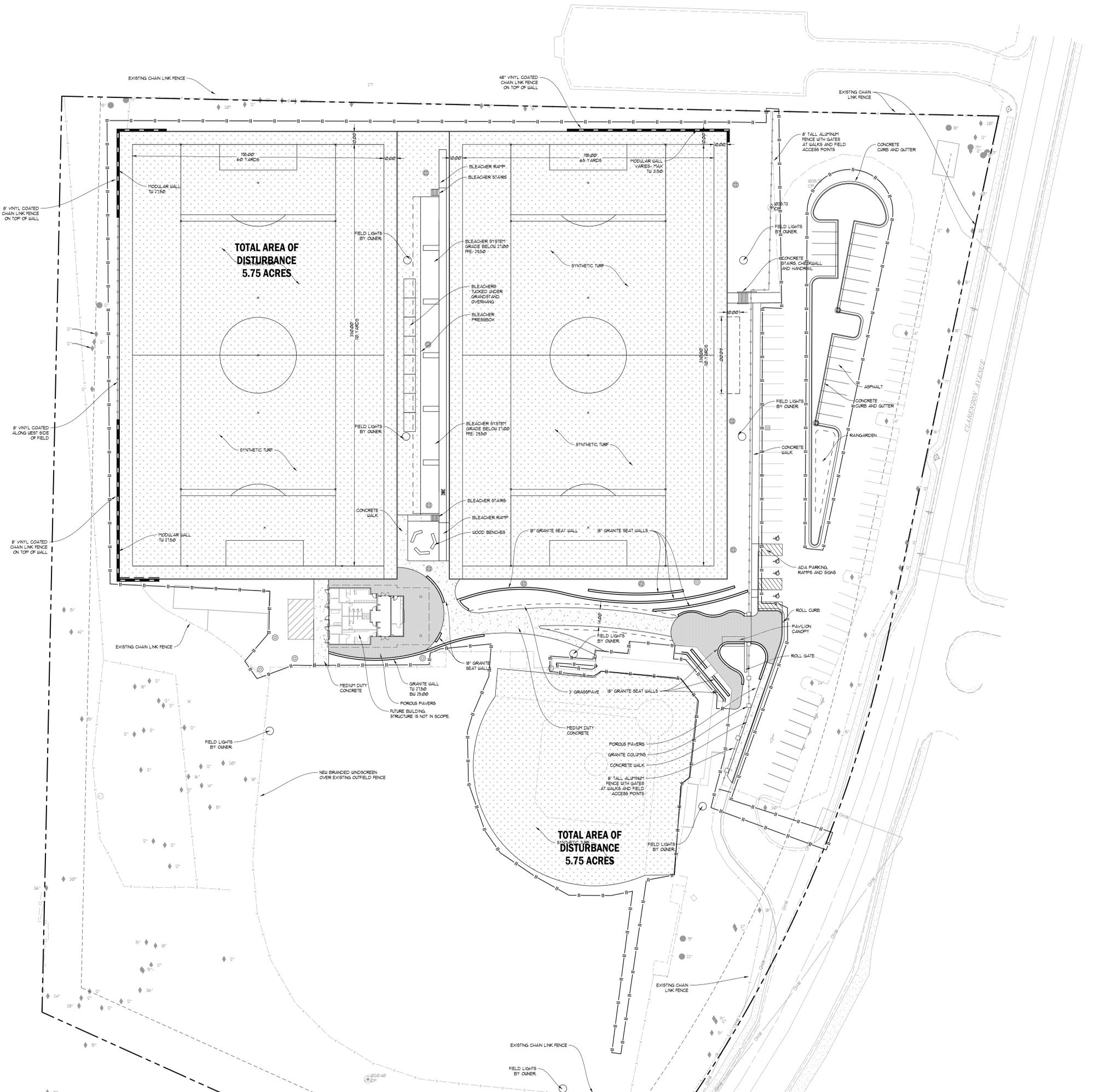
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EXISTING CHAIN LINK FENCE

48" VINYL COATED CHAIN LINK FENCE ON TOP OF WALL

8" VINYL COATED CHAIN LINK FENCE ON TOP OF WALL

8" VINYL COATED CHAIN LINK FENCE ALONG WEST SIDE OF FIELD

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TOTAL AREA OF DISTURBANCE 5.75 ACRES

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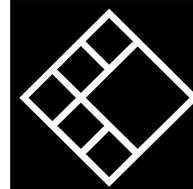
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Phone: 770-483-1173

1020 OLD BISHOP ROAD, BISHOP GA 30621

Civil Engineers

Landscape Architects

Breedlove Land Planning, Inc.

Appendix Exhibit 3

NOT RELEASED FOR CONSTRUCTION

REVISIONS

PAIDEIA PYTHON PARK RENOVATION 1201 CLARENDON AVE., AVONDALE ESTATES, GA 30002

CONSULTANT

SEAL

SHEET TITLE

SHEET#

### GRADING LEGEND

- PROPOSED INTERMEDIATE CONTOURS
- PROPOSED INDEX CONTOURS
- 50.5 SPOT ELEVATION
- >>>>> BERM
- +HP+ HIGH POINT
- LP- LOW POINT
- FLOW DIRECTION
- SLOPE
- 2:1 SLOPE INDICATOR (H:V)
- TU 50.5 FINISHED GRADE AT TOP OF WALL
- BU 54.0 FINISHED GRADE AT BOTTOM OF WALL
- TC 50.5 TOP OF CURB ELEVATION
- BC 49.5 TOP OF CURB ELEVATION
- FFE FINISHED FLOOR ELEVATION

### EXCESS CUT

EXCESS CUT MATERIAL: IF QUANTITY OF GRADING MATERIAL IS IN EXCESS OF QUANTITIES NECESSARY TO PROVIDE FINISH GRADE ELEVATIONS INDICATED ON DRAWINGS, EXCESS MATERIAL SHALL BE HAULED OFF SITE. HAULING AND DISPOSAL OF EXCESS MATERIAL SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF EXCESS MATERIAL.

### INSUFFICIENT FILL

INSUFFICIENT FILL MATERIAL: IF QUANTITY OF GRADING MATERIAL IS INSUFFICIENT TO PROVIDE FINISHED GRADE ELEVATIONS INDICATED ON DRAWINGS, CONTRACTOR SHALL OBTAIN ADDITIONAL FILL MATERIAL OF SPECIFIED QUALITY FROM AN OFF-SITE SOURCE. OBTAINING, HAULING, PLACEMENT, COMPACTION, AND STABILIZATION OF ADDITIONAL FILL MATERIAL SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN OBTAINING FILL MATERIAL.

### UTILITY LOCATION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES.
- CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
- THE UTILITIES SHOWN ARE SCHEMATIC AND FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATION OR DEPTH OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM HIS/HER OPERATIONS SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY IF SETTLEMENT OCCURS.

### GRAPHIC SCALE & ORIENTATION



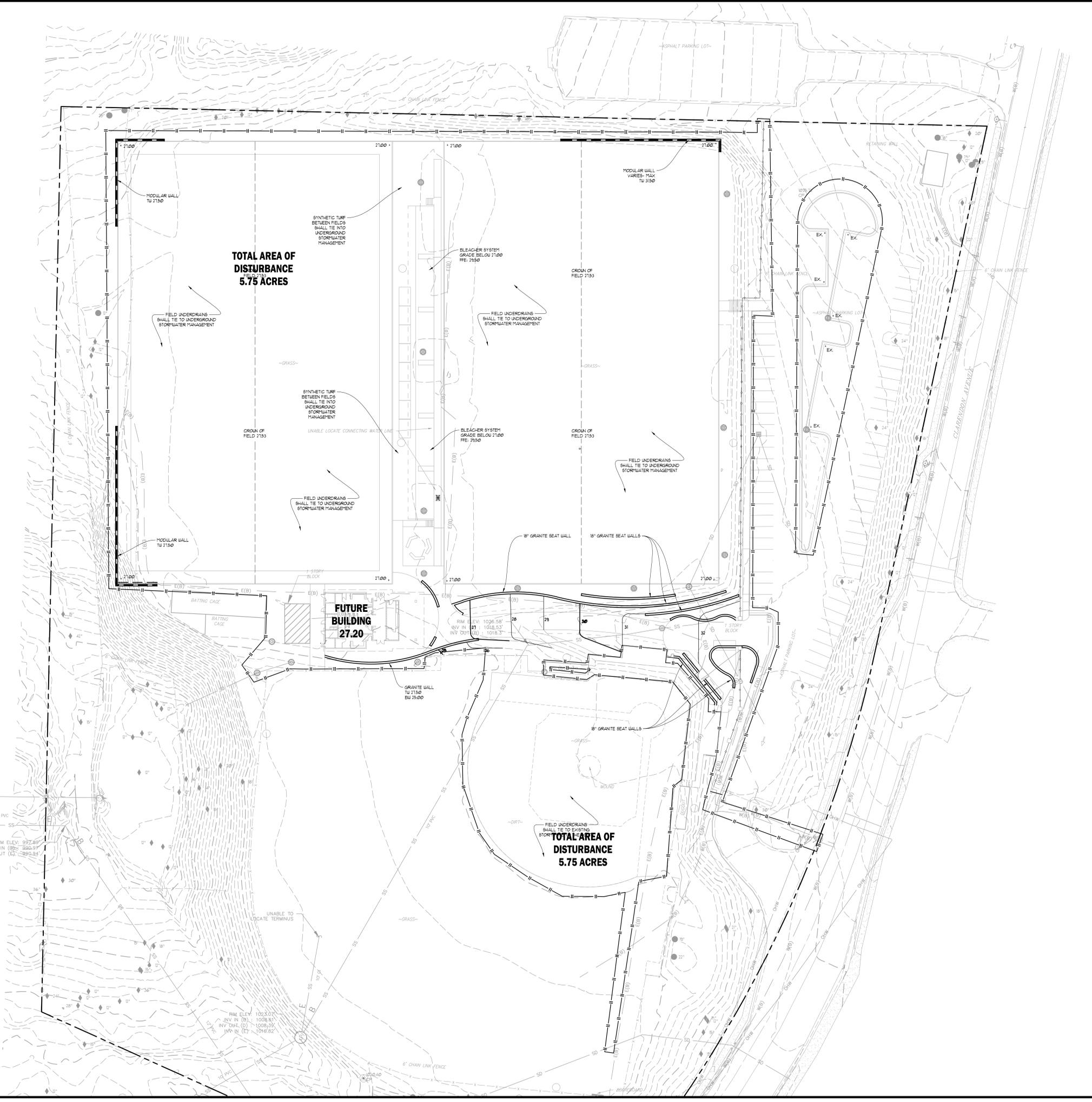
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### CALL BEFORE YOU DIG



GEORGIA LAW MANDATES THAT, BEFORE BEGINNING ANY MECHANIZED DIGGING OR EXCAVATION WORK, YOU MUST CONTACT GEORGIA 811 BY USING E-REQUEST OR 1-800-888-8111 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS IN ADVANCE TO HAVE UTILITY LINES MARKED.



TOTAL AREA OF DISTURBANCE 5.75 ACRES

FUTURE BUILDING 27.20

TOTAL AREA OF DISTURBANCE 5.75 ACRES

BLP, INC. PROJECT NO: 24136

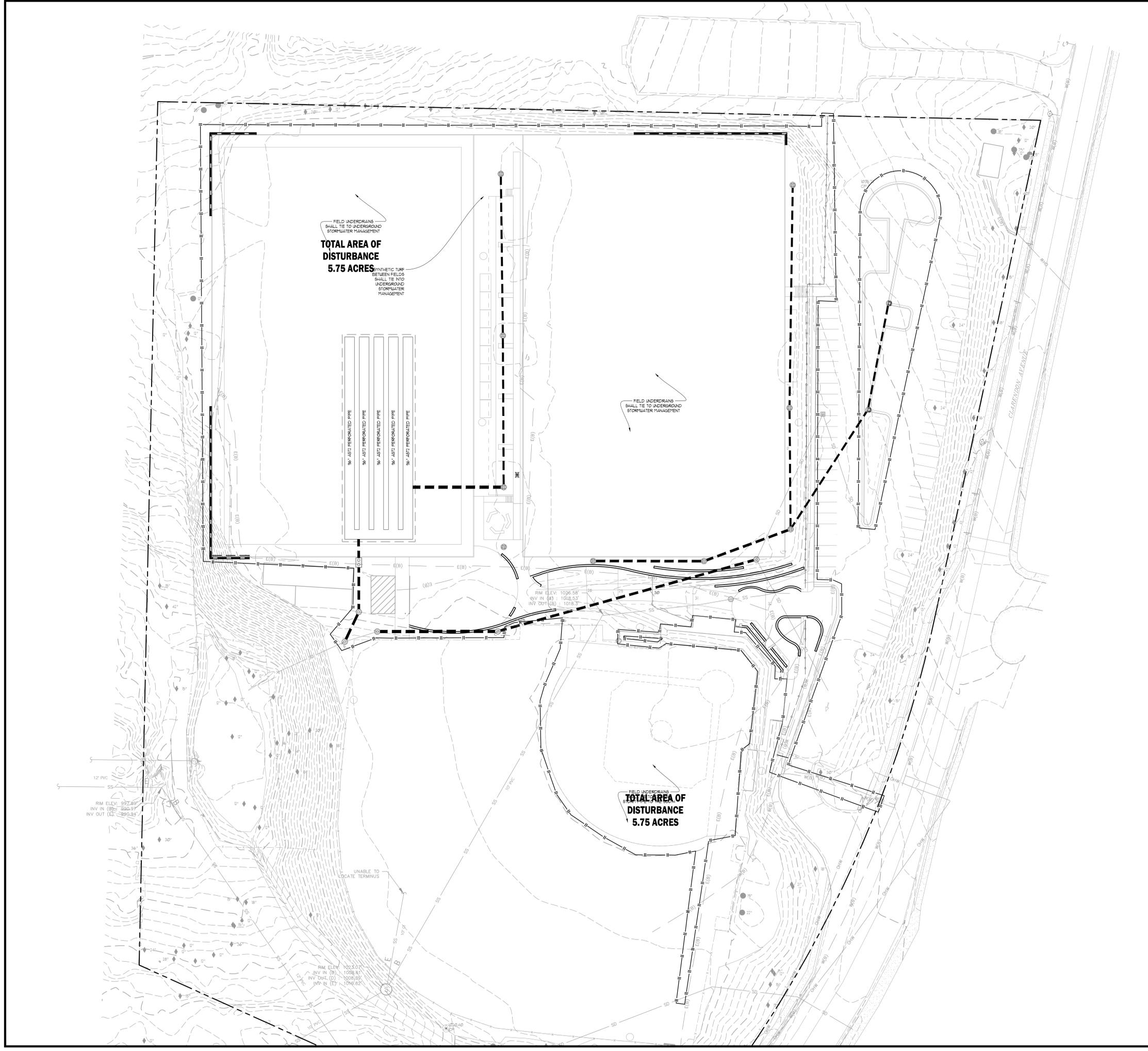
DATE: 03-21-2025

DRAWING BY: XXX

CHECKED BY: CB

SITE GRADING PLAN

C300



### GRADING LEGEND

- PROPOSED INTERMEDIATE CONTOURS
- PROPOSED INDEX CONTOURS
- SPOT ELEVATION
- BERM
- HIGH POINT
- LOW POINT
- FLOW DIRECTION
- SLOPE
- SLOPE INDICATOR (H:V)
- FINISHED GRADE AT TOP OF WALL
- FINISHED GRADE AT BOTTOM OF WALL
- TOP OF CURB ELEVATION
- TOP OF CURB ELEVATION
- FINISHED FLOOR ELEVATION

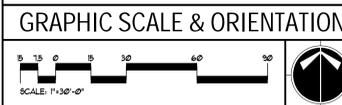
### STORM STRUCTURE LEGEND

- STORM STRUCTURE LABEL
- HU - HEADWALL
- FEB - FLARED END SECTION
- SEB - SAFETY END SECTION
- DI - DROP INLET
- JB - JUNCTION BOX
- SUCB - SINGLE UNG CATCH BASIN
- DUCB - DOUBLE UNG CATCH BASIN
- CB - CATCH BASIN
- AD - AREA DRAIN (NYLOPLAST OR EQUAL)
- BH - BEE HIVE CATCH BASIN
- 
- OCB - OUTLET CONTROL STRUCTURE

TOP - TOP OF STRUCTURE ELEVATION  
 TH - THROAT OF STRUCTURE ELEVATION  
 HDPE - HIGH-DENSITY POLYETHYLENE PIPE  
 A51-1 - ALUMINIZED STEEL TYPE 1 PIPE  
 A51-2 - SPIRAL RIB CHP (MANNING'S n=0.02) ULTRAFLOW (TH) OR APPROVED EQUAL  
 DUCTILE IRON PIPE  
 RCP - REINFORCED CONCRETE PIPE (CLASS IV OR V) W/ RUBBER O-RING GASKET  
 PVC - SCHEDULE 40 POLYVINYL CHLORIDE PIPE  
 INV. IN - INVERT ELEVATION - IN  
 INV. OUT - INVERT ELEVATION - OUT  
 HGL - HYDRAULIC GRADE LINE

### UTILITY LOCATION NOTES

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2. CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
3. THE UTILITIES SHOWN ARE SCHEMATIC AND FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF UTILITIES WITHIN THE LIMITS OF THE WORK. DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR FROM HIS/HER OPERATIONS SHALL BE IMMEDIATELY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES SUCH AS POWER, GAS, TELEPHONE, ETC. CONTRACTOR SHALL PROVIDE ADDITIONAL BACKFILL AND COMPACTION AS NECESSARY IF SETTLEMENT OCCURS.



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### CALL BEFORE YOU DIG

GEORGIA LAW MANDATES THAT, BEFORE BEGINNING ANY MECHANIZED DIGGING OR EXCAVATION WORK, YOU MUST CONTACT GEORGIA 811 BY USING EREQUEST OR 1-800-881-8111 OR BY CALLING 811 OR 1-800-881-8111 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS IN ADVANCE TO HAVE UTILITY LINES MARKED.

TOTAL AREA OF DISTURBANCE 5.75 ACRES

FIELD UNDERGRANS SHALL TIE TO UNDERGROUND STORMWATER MANAGEMENT

SYNTHETIC TURF BETWEEN FIELDS SHALL TIE TO UNDERGROUND STORMWATER MANAGEMENT

TOTAL AREA OF DISTURBANCE 5.75 ACRES

FIELD UNDERGRANS SHALL TIE TO UNDERGROUND STORMWATER MANAGEMENT

12" PVC

SS

RIM ELEV.: 997.89

INV. IN (B): 990.97

INV. OUT (C): 990.94

RIM ELEV.: 1023.07

INV. IN (B): 1008.81

INV. OUT (C): 1008.81

INV. IN (D): 1016.85

1020 OLD BISHOP ROAD, BISHOP GA 30621 Phone: 770-483-1173

Civil Engineers

Landscaping Architects

**PAIDEIA PYTHON PARK RENOVATION**

1201 CLARENDON AVE., AVONDALE ESTATES, GA 30002

REVISIONS		
No.	DATE	DESCRIPTION
1	03-21-2025	DCI APPLICATION
2		
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4		
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15		

**NOT RELEASED FOR CONSTRUCTION**

SUBMITTALS		
No.	DATE	DESCRIPTION
1	03-21-2025	DCI APPLICATION

Appendix Exhibit 3

BLP, INC. PROJECT NO.:	24136
DATE:	03-21-2025
DRAWING BY:	XXX
CHECKED BY:	CB

**SITE DRAINAGE PLAN**

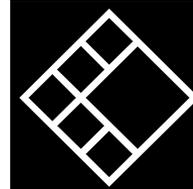
C310

CONSULTANT

SEAL

SHEET TITLE

SHEET#



Phone: 770-483-1173

1020 OLD BISHOP ROAD, BISHOP GA 30621

Civil Engineers

Landscape Architects

Breedlove Land Planning, Inc.

Phone: 770-483-1173

CONSULTANT

SEAL

PAIDEIA PYTHON PARK  
RENOVATION  
1201 CLARENDON AVE.,  
AVONDALE ESTATES, GA 30002

REVISIONS		
No.	DATE	DESCRIPTION
1	03-21-2025	DCI APPLICATION
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NOT RELEASED FOR CONSTRUCTION

SUBMITTALS

No.	DATE	DESCRIPTION
1	03-21-2025	DCI APPLICATION
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BLP, INC. PROJECT NO: 24136  
DATE: 03-21-2025  
DRAWING BY: XXX  
CHECKED BY: CB

SITE UTILITY PLAN

C500

SHEET TITLE  
SHEET #

### GENERAL UTILITY NOTES

1. NOTIFY ALL UTILITY PROVIDERS 24 HOURS PRIOR TO THE BEGINNING OF UTILITY DEMOLITION AND REMOVAL OR ADJUSTMENTS.
2. ALL WORK AND MATERIALS SHALL CONFORM TO CURRENT CITY OF AVONDALE ESTATES STANDARDS.
3. CONTRACTOR SHALL SCHEDULE AN INSPECTION WITH CITY OF AVONDALE ESTATES INSPECTORS BEFORE ANY WORK IS HIDDEN FROM VIEW.
4. CONTRACTOR SHALL CALL THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG" TELEPHONE NUMBER 1-800-285-7411 BEFORE INITIATING EXCAVATION ACTIVITIES.
5. CONCRETE THRUST BLOCKING SHALL BE PLACED AT ALL BENDS, TEES, AND FITTINGS.
6. NO FENCES, STRUCTURES, TREES, OR OTHER OBSTRUCTIONS ARE ALLOWED IN SANITARY SEWER EASEMENTS.
7. WATER LINES SHALL HAVE A MINIMUM COVER OF 4' FEET FROM FINISHED GRADE.
8. WATER METERS SHALL BE INSTALLED IN CITY OF AVONDALE ESTATES RIGHT-OF-WAY OR IN AN EASEMENT DEDICATED TO CITY OF AVONDALE ESTATES.
9. BACKFLOW PREVENTERS SHALL BE INSTALLED IMMEDIATELY AFTER ALL WATER METERS IN THE PROPERTY OWNER'S RIGHT-OF-WAY.
10. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
11. CONTRACTOR SHALL RELOCATE OR ADJUST AS NECESSARY ALL EXISTING UTILITY APPEARANCES (CLEAN OUTS, VALVE, METER BOXES AND/OR COVERS, MANHOLES, ETC.) LOCATED WITHIN THE LIMITS OF CONSTRUCTION TO FINISHED GRADE AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING GAS AND WATER METERS, VALVES, LINES, POWER, TELEPHONE AND CABLE LINES THAT SERVICE THE EXISTING BUILDINGS WITH THE APPROPRIATE UTILITY COMPANIES.
13. CONTRACTOR IS RESPONSIBLE FOR REPAIRING IMMEDIATELY ANY DAMAGE TO ADJACENT UTILITIES.

### UTILITY LEGEND

- W — DOMESTIC WATER
- F — FIRE MAIN
- SS — SANITARY SEWER - GRAVITY
- RM — SANITARY SEWER - FORCE MAIN
- G — GAS LINE (FOR REFERENCE ONLY)
- E — ELECTRIC LINE (FOR REFERENCE ONLY)
- FDG Fire Department Connection
- PIV Post Indicator Valve
- WV Water Valve
- TB Concrete Thrust Blocking
- SM Sanitary Sewer Manhole
- CO Cleanout
- GT Grease Trap
- SL Sanitary Sewer Structure Label

### UTILITY LOCATION NOTES

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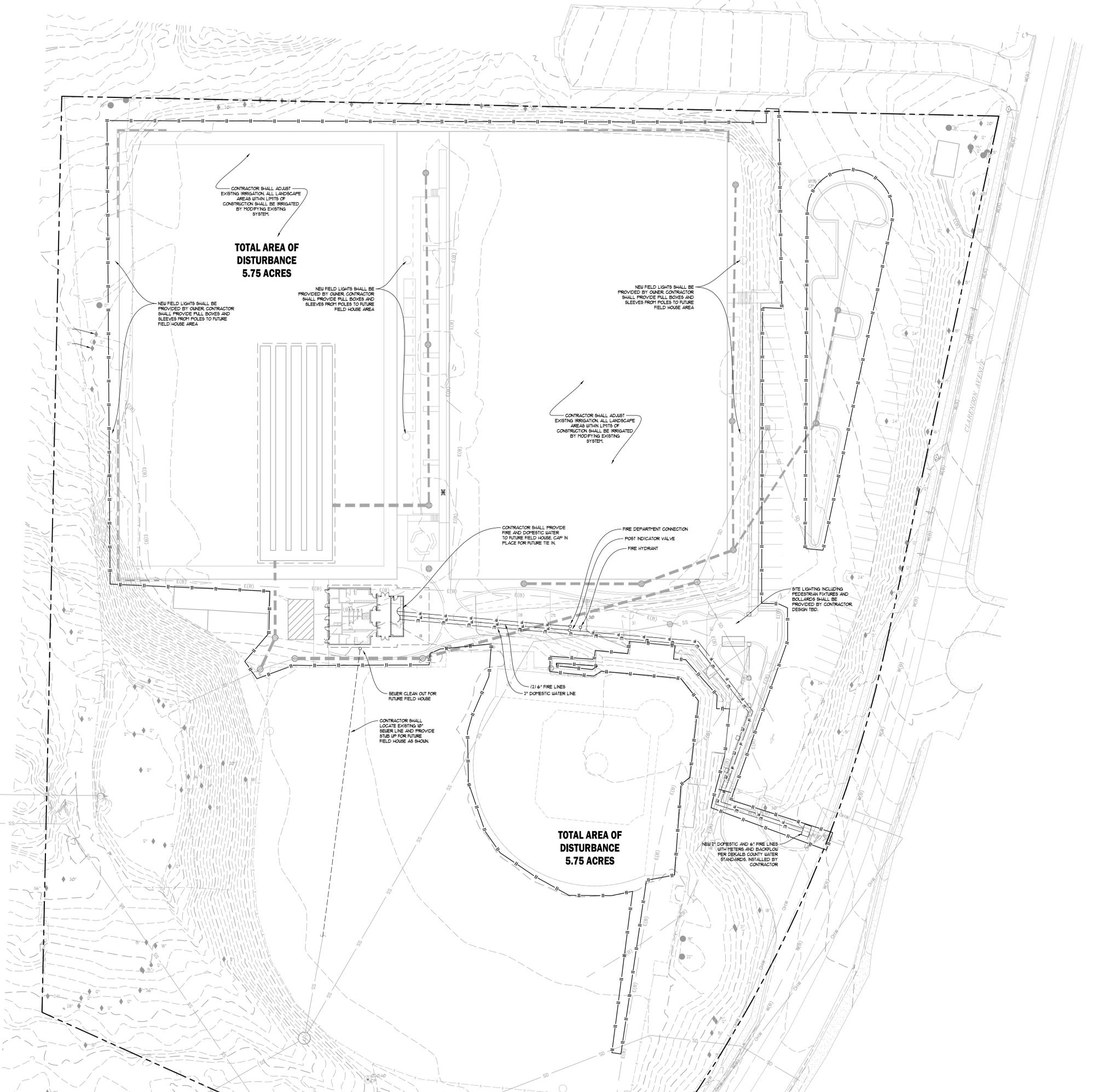
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TOTAL AREA OF DISTURBANCE 5.75 ACRES

TOTAL AREA OF DISTURBANCE 5.75 ACRES

CONTRACTOR SHALL ADJUST EXISTING IRRIGATION ALL LANDSCAPE AREAS WITHIN LIMITS OF CONSTRUCTION SHALL BE IRRIGATED BY MODIFYING EXISTING SYSTEM.

NEW FIELD LIGHTS SHALL BE PROVIDED BY OWNER CONTRACTOR SHALL PROVIDE PULL BOXES AND SLEEVES FROM POLES TO FUTURE FIELD HOUSE AREA.

NEW FIELD LIGHTS SHALL BE PROVIDED BY OWNER CONTRACTOR SHALL PROVIDE PULL BOXES AND SLEEVES FROM POLES TO FUTURE FIELD HOUSE AREA.

CONTRACTOR SHALL PROVIDE FIRE AND DOMESTIC WATER TO FUTURE FIELD HOUSE CAP IN PLACE FOR FUTURE TIE IN.

FIRE DEPARTMENT CONNECTION POST INDICATOR VALVE FIRE HYDRANT

SITE LIGHTING INCLUDING PEDESTRIAN FIXTURES AND BOLLARDS SHALL BE PROVIDED BY CONTRACTOR DESIGN TBD.

SEWER CLEAN OUT FOR FUTURE FIELD HOUSE

CONTRACTOR SHALL LOCATE EXISTING 10\"/>

NEW 7\"/>

TREE ID	TREE SIZE	CO2 (sq. ft.)	IMPACT (sq ft.)	IMPACT %	STATUS
T1	18	1017.4	0%	0%	SAVED
T2	20	1256.0	0%	0%	SAVED
T3	12	452.2	0%	0%	SAVED
T4	25	1262.5	0%	0%	SAVED
T5	18	1017.4	0%	0%	SAVED
T6	12	452.2	0%	0%	SAVED
T7	15	706.5	0%	0%	SAVED
T8	40	5024.0	0%	0%	SAVED
T9	22	1519.8	0%	0%	SAVED
T10	12	452.2	0%	0%	SAVED
T11	15	706.5	0%	0%	SAVED
T12	18	1017.4	0%	0%	SAVED
T13	24	1808.6	0%	0%	SAVED
T14	17	907.6	0%	0%	SAVED
T15	24	1808.6	0%	0%	SAVED
T16	16	803.8	0%	0%	SAVED
T17	12	452.2	0%	0%	SAVED
T18	12	452.2	0%	0%	SAVED
T19	12	452.2	0%	0%	SAVED
T20	24	1808.6	0%	0%	SAVED
T21	12	452.2	0%	0%	SAVED
T22	13	530.66	0%	0%	SAVED
T23	24	1808.6	0%	0%	SAVED
T24	15	706.5	0%	0%	SAVED
T25	30	2826.0	0%	0%	SAVED
T26	18	1017.4	0%	0%	SAVED
T27	21	1384.7	0%	0%	SAVED
T28	19	1133.5	0%	0%	SAVED
T29	22	1519.8	0%	0%	SAVED
T30	15	706.5	0%	0%	SAVED
T31	12	452.2	0%	0%	SAVED
T32	15	706.5	0%	0%	SAVED
T33	12	452.2	0%	0%	SAVED
T34	12	452.2	0%	0%	SAVED
T35	12	452.2	0%	0%	SAVED
T36	12	452.2	0%	0%	SAVED
T37	12	452.16	0%	0%	SAVED
T38	12	452.16	0%	0%	SAVED
T39	12	452.16	0%	0%	SAVED
T40	13	530.66	0%	0%	SAVED
T41	12	452.16	0%	0%	SAVED
T42	14	615.44	0%	0%	SAVED
T43	12	452.16	0%	0%	SAVED
T44	12	452.16	0%	0%	SAVED
T45	12	452.16	0%	0%	SAVED
T46	12	452.16	0%	0%	SAVED
T47	12	452.16	0%	0%	SAVED
T48	22	1519.76	0%	0%	SAVED
T49	17	907.46	0%	0%	SAVED
T50	12	452.16	0%	0%	SAVED
T51	15	706.5	0%	0%	SAVED
T52	13	530.66	0%	0%	SAVED
T53	15	706.5	0%	0%	SAVED
T54	14	615.44	0%	0%	SAVED
T55	16	803.84	0%	0%	SAVED
T56	26	2122.64	0%	0%	SAVED
T57	12	452.16	0%	0%	SAVED
T58	12	452.16	0%	0%	SAVED
T59	12	452.16	0%	0%	SAVED
T60	15	706.5	0%	0%	SAVED
T61	12	452.16	0%	0%	SAVED
T62	20	1256	0%	0%	SAVED
T63	20	1256	0%	0%	SAVED
T64	15	706.5	0%	0%	SAVED
T65	12	452.16	0%	0%	SAVED
T66	12	452.16	0%	0%	SAVED
T67	30	2826	0%	0%	SAVED
T68	12	452.16	0%	0%	SAVED
T69	18	1017.36	0%	0%	SAVED
T70	15	706.5	0%	0%	SAVED
T71	12	452.16	0%	0%	SAVED
T72	15	706.5	0%	0%	SAVED
T73	36	4069.44	0%	0%	SAVED
T74	12	452.16	0%	0%	SAVED
T75	12	452.16	0%	0%	SAVED
T76	12	452.16	0%	0%	SAVED
T77	12	452.16	0%	0%	SAVED
T78	28	2461.76	0%	0%	SAVED
T79	24	1808.64	0%	0%	SAVED
T80	36	4069.44	0%	0%	SAVED
T81	30	2826	0%	0%	SAVED
T82	12	452.16	0%	0%	SAVED
T83	12	452.16	0%	0%	SAVED
T84	12	452.16	0%	0%	SAVED
T85	15	706.5	0%	0%	SAVED
T86	18	1017.36	0%	0%	SAVED
T87	20	1256	0%	0%	SAVED
T88	14	615.44	0%	0%	SAVED
T89	12	452.16	0%	0%	SAVED
T90	16	803.84	0%	0%	SAVED
T91	12	452.16	0%	0%	SAVED
T92	12	452.16	0%	0%	SAVED
T93	12	452.16	0%	0%	SAVED
T94	12	452.16	0%	0%	SAVED
T95	12	452.16	0%	0%	SAVED
T96	15	706.5	0%	0%	SAVED
T97	12	452.16	0%	0%	SAVED
T98	12	452.16	0%	0%	SAVED
T99	18	1017.36	0%	0%	SAVED
T100	12	452.16	0%	0%	SAVED
T101	42	5038.96	0%	0%	SAVED
T102	15	706.5	0%	0%	SAVED
T103	12	452.16	100%	100%	REMOVED
T104	12	452.16	100%	100%	REMOVED
T105	12	452.16	100%	100%	REMOVED
T106	13	530.66	100%	100%	REMOVED
T107	12	452.16	100%	100%	REMOVED
T108	15	706.5	100%	100%	REMOVED
T109	30	2826	100%	100%	REMOVED
T110	27	2289.06	887.56	39%	REMOVED
T111	25	1262.5	922.14	47%	REMOVED
T112	15	706.5	254.34	36%	REMOVED
T113	20	1256	429.37	34%	REMOVED
T114	12	452.16	0%	0%	SAVED
T115	12	452.16	61.19	14%	SAVED
T116	12	452.16	1558.27	48%	REMOVED
T117	16	803.84	506.41	63%	REMOVED
T118	12	452.16	115.9	26%	REMOVED
T119	18	1017.36	732.49	72%	REMOVED
T120	12	452.16	0%	0%	SAVED
T121	12	452.16	5.45	1%	SAVED
T122	12	452.16	24.96	6%	SAVED
T123	15	706.5	586.39	83%	REMOVED
T124	12	452.16	388.85	86%	REMOVED
T125	24	1808.64	1648.86	91%	REMOVED
T126	12	452.16	71.02	16%	SAVED
T127	12	452.16	228.7	51%	REMOVED
T128	28	2461.76	1956.3	79%	REMOVED
T129	24	1808.64	1674.86	93%	REMOVED
T130	15	706.5	405.64	57%	REMOVED
T131	17	907.46	432.74	48%	REMOVED
T132	22	1519.76	1416.34	93%	REMOVED
T133	12	452.16	256.71	57%	REMOVED
T134	12	452.16	392.42	87%	REMOVED
T135	18	1017.36	390.63	38%	REMOVED
T136	14	615.44	577.08	94%	REMOVED
T137	16	803.84	161.45	20%	REMOVED
T138	25	1262.5	285.05	23%	SAVED
T139	17	907.46	6.57	1%	SAVED
T140	20	1256	221.7	18%	SAVED
T141	12	452.16	0%	0%	SAVED
T142	12	452.16	0%	0%	SAVED
T143	24	1808.64	199.25	11%	SAVED
T144	28	2461.76	409.45	17%	SAVED
T145	27	2289.06	459.32	20%	REMOVED
T146	22	1519.76	312.03	21%	REMOVED
T147	12	452.16	283.72	63%	REMOVED
T148	15	706.5	33.23	5%	SAVED
T149	16	803.84	97.17	12%	SAVED
T150	13	530.66	113.29	21%	REMOVED
T151	12	452.16	138.93	31%	REMOVED
T152	36	4069.44	1615.14	40%	REMOVED
T153	30	2826	1060.85	38%	REMOVED
T154	40	5024	1036.68	21%	REMOVED
T155	22	1519.76	100%	100%	REMOVED
T156	22	1519.76	100%	100%	REMOVED
T157	20	1256	100%	100%	REMOVED
T158	21	1384.74	100%	100%	REMOVED
T159	23	1661.06	100%	100%	REMOVED
T160	15	706.5	0%	0%	SAVED
T161	15	706.5	0%	0%	SAVED



### CANOPY COVERAGE CALCULATIONS

PROTECTED LOT AREA - 708466.8 SQ. FT.  
 AS PER SEC. 5-43 OF CHAPTER 5, ARTICLE X DIV. 2 THIS PROPERTY IS REQUIRED TO ACHIEVE A MINIMUM OF FORTY (40) PERCENT COVERAGE OF THE PROTECTED LOT AREA OF THE SUBJECT PROPERTY BY HEALTHY, MATURE TREES AFTER CONSTRUCTION IS COMPLETE.  
 40% OF PROTECTED LOT AREA - 283386.72 SQ. FT.  
 EXISTING TREE CANOPY COVERAGE - 833153 SQ. FT.  
 RECOGNIZED TREE CANOPY COVERAGE - 252434 SQ. FT.

### PARKING LOT LANDSCAPE CALCULATIONS

PARKING LOT AREA - 446683 SQ. FT.  
 AS PER SEC. 5-43 OF CHAPTER 5, ARTICLE X DIV. 2 THIS PROPERTY IS REQUIRED TO HAVE A LANDSCAPED PERVIOUS AREA CONSISTING OF TREES, SHRUBBERY, GROUND COVER, SOG AND MULCH NO LESS THAN 10% OF THE INTERIOR AREA OF A PARKING LOT.  
 10% OF PARKING LOT AREA - 44668.3 SQ. FT.  
 PROPOSED PERVIOUS AREA - 46612 SQ. FT.

### PLANTING NOTES

1. PLANT MATERIALS SHALL MEET MINIMUM REQUIREMENTS AS SET FORTH IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK.
2. PLANTS SHALL BE HEALTHY, VIGOROUS SPECIMENS FREE OF PESTS AND DISEASE.
3. PLANTS ARE SUBJECT TO THE APPROVAL OF THE ARCHITECT OR OWNER BEFORE DURING AND AFTER INSTALLATION.
4. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
5. DO NOT BREAK ROOTBALL.
6. IMMEDIATELY SOAK NEW PLANTINGS WITH WATER.
7. STAKE TREES IMMEDIATELY AFTER PLANTING AS INDICATED IN DETAILS OR AS DIRECTED BY THE ARCHITECT.
8. CONTRACTOR IS FULLY RESPONSIBLE FOR MAINTENANCE INCLUDING WATERING, WEEDING, SETTLING, PRUNING OF THIS WORK THROUGHOUT THE MAINTENANCE PERIOD AS INDICATED IN THE SPECIFICATIONS OR UNTIL SUBSTANTIAL COMPLETION (WHICHEVER IS GREATER).
9. THE CONTRACTOR IS ADVISED OF THE UNDERGROUND UTILITIES AND SHALL CHECK LOCATION OF SAME BEFORE COMMENCING DIGGING OPERATIONS.
10. CONTRACTOR SHALL FULLY GUARANTEE PLANTS FOR THIS JOB FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION CERTIFICATE.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFF QUANTITIES IF THERE ARE DISCREPANCIES BETWEEN THE PLANTING SCHEDULE AND THE PLANTING PLAN. THE PLAN SHALL RULE. NOTIFY LANDSCAPE ARCHITECT IF ANY DISCREPANCIES ARE FOUND.
12. CONTRACTOR SHALL FLAG LOCATION OF PLANT MATERIAL FOR APPROVAL BY ARCHITECT BEFORE INSTALLATION.
13. PLANT BEDS SHALL BE MULCHED WITH A MINIMUM OF 3" OF CLEAN FRESH PINE STRAW.
14. AREAS DESIGNATED AS FLOWER BEDS SHALL RECEIVE 12" OF PLANTING MIXTURE TOPPED WITH 2" OF FINE BARK MINI CHIPS.
15. PLANTING MIXTURE: 3 PARTS TOPSOIL, 1 PART COARSE SAND, ONE PART PEAT MOSS OR APPROVED SUBSTITUTE.

### UTILITY LOCATION NOTES

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### GRAPHIC SCALE & ORIENTATION

SCALE: 1"=30'-0"

### DO NOT BREAK OR DUPLICATE

1. DO NOT DUPLICATE DRAWINGS WITHOUT PERMISSION.
2. READ THE SPECIFICATIONS. THIS SET OF DRAWINGS AND SPECIFICATIONS DEFINE PROJECT SCOPE AND CONTRACT REQUIREMENTS. INDIVIDUAL SHEETS SEPARATED FROM THE SET MAY NOT ADEQUATELY REFLECT ALL INFORMATION NEEDED TO SUITABLY COVER CERTAIN ITEMS. DO NOT SEPARATE THIS SET OF DRAWINGS INTO INDIVIDUAL SHEETS.

### CALL BEFORE YOU DIG

GEORGIA LAW MANDATES THAT, BEFORE BEGINNING ANY MECHANIZED DIGGING OR EXCAVATION WORK, YOU MUST CONTACT GEORGIA 811 BY USING EREQUEST OR 1-800-881-4848 OR BY CALLING BY OR 1-800-251-4141 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS IN ADVANCE TO HAVE UTILITY LINES MARKED.

**PAIDEIA PYTHON PARK  
RENOVATION  
1201 CLARENDON AVE.,  
AVONDALE ESTATES, GA 30002**

Phone: 770-483-1173  
1020 OLD BISHOP ROAD, BISHOP GA 30621  
Civil Engineers  
Landscape Architects  
Breedlove Land Planning, Inc.

CONSULTANT  
SEAL  
03-15-2025

REVISIONS		
No.	DATE	DESCRIPTION
1	03-21-2025	DCI APPLICATION
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SUBMITTALS

No.	DATE	DESCRIPTION
1	03-21-2025	DCI APPLICATION

Appendix Exhibit 3

BLP, INC. PROJECT NO: 24136

DATE: 03-21-2025

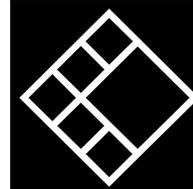
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CHECKED BY: CB

**TREE PROTECTION AND REMOVAL PLAN**

C600

SHEET #



Phone: 770-483-1173

1020 OLD BISHOP ROAD, BISHOP GA 30621

Civil Engineers

Landscape Architects

Breedlove Land Planning, Inc.

CONSULTANT

PAIDEIA PYTHON PARK  
RENOVATION  
1201 CLARENDON AVE.,  
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SEAL  
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Appendix Exhibit 3

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BLP, INC. PROJECT NO: 24136  
DATE: 03-21-2025  
DRAWING BY: XXX  
CHECKED BY: CB

CONCEPTUAL PLANTING PLAN

C610 SHEET#

### SHRUB AND GROUND COVER PLANTING LEGEND

- SHRUBS AND GROUND COVER
- GEORGIA NATIVE GRASS MIX
- BIO RETENTION PLANTING

### RECOMPENSE CANOPY COVERAGE CALCULATIONS

4 PER SEC. 8-43 OF CHAPTER 8 ARTICLE X DIV. 3 CREDIT TOWARDS MEETING TREE CANOPY COVERAGE SHALL BE DETERMINED BASED ON THE SPECIES OF TREE.

- GREATER CANOPY TREES - NEWLY PLANTED TREES OF GREATER CANOPY SPECIES PROVIDE ONE THOUSAND NINE HUNDRED (1900) SQUARE FEET OF TREE CANOPY COVERAGE CREDIT.
- LESSER CANOPY TREES - NEWLY PLANTED TREES OF LESSER CANOPY SPECIES PROVIDE ONE THOUSAND TWO HUNDRED (1200) SQUARE FEET OF TREE CANOPY COVERAGE CREDIT.

N TOTAL 22 GREATER CANOPY TREES ARE PROPOSED -

AMERICAN BEECH - 5  
WHITE OAK - 3  
SOUTHERN RED OAK - 3  
WILLOW OAK - 3  
AMERICAN ELM - 4

COVERAGE CREDIT = 22 X 1900 = 41800 SQ. FT.

N TOTAL 23 LESSER CANOPY TREES ARE PROPOSED -

RED MAPLE - 1  
SERVICEBERRY - 6  
EASTERN REDBUD - 5  
BIG LEAF MAGNOLIA - 5

COVERAGE CREDIT = 23 X 1200 = 27600 SQ. FT.

TOTAL COVERAGE CREDIT = 41800 + 27600 = 69400 SQ. FT.  
HENCE, REQUIREMENT IS MET.

### PLANTING NOTES

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### PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
<b>TREES</b>						
	Acer rubrum 'Bull to Last'	RED MAPLE	3" Cal.	B&B	6	STRAIGHT CENTRAL LEADER, SPECIMEN, FULL FOLIAGE, FREE OF PESTS AND DISEASE
	Amelanchier arborea	SERVICEBERRY	7" HL	B&B	7	Full Head, Specimen, 3-Leader
	Cercis canadensis 'Pink Pom Poms'	EASTERN REDBUD	3" Cal.	B&B	5	STRAIGHT CENTRAL LEADER, SPECIMEN, FULL FOLIAGE, FREE OF PESTS AND DISEASE
	Fagus grandifolia	AMERICAN BEECH	4" Cal.	B&B	5	STRAIGHT CENTRAL LEADER, SPECIMEN, FULL FOLIAGE, FREE OF PESTS AND DISEASE
	Magnolia macrophylla	BIGLEAF MAGNOLIA	3" Cal.	B&B	5	STRAIGHT CENTRAL LEADER, SPECIMEN, FULL FOLIAGE, FREE OF PESTS AND DISEASE
	Quercus alba	WHITE OAK	4" Cal.	B&B	5	STRAIGHT CENTRAL LEADER, SPECIMEN, FULL FOLIAGE, FREE OF PESTS AND DISEASE
	Quercus falcata	SOUTHERN RED OAK	4" Cal.	B&B	3	STRAIGHT CENTRAL LEADER, SPECIMEN, FULL FOLIAGE, FREE OF PESTS AND DISEASE
	Quercus phellos	WILLOW OAK	4" Cal.	B&B	5	STRAIGHT CENTRAL LEADER, SPECIMEN, FULL FOLIAGE, FREE OF PESTS AND DISEASE
	Ulmus americana 'Princeton'	AMERICAN ELM	4" Cal.	B&B	4	STRAIGHT CENTRAL LEADER, SPECIMEN, FULL FOLIAGE, FREE OF PESTS AND DISEASE

### UTILITY LOCATION NOTES

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### GRAPHIC SCALE & ORIENTATION



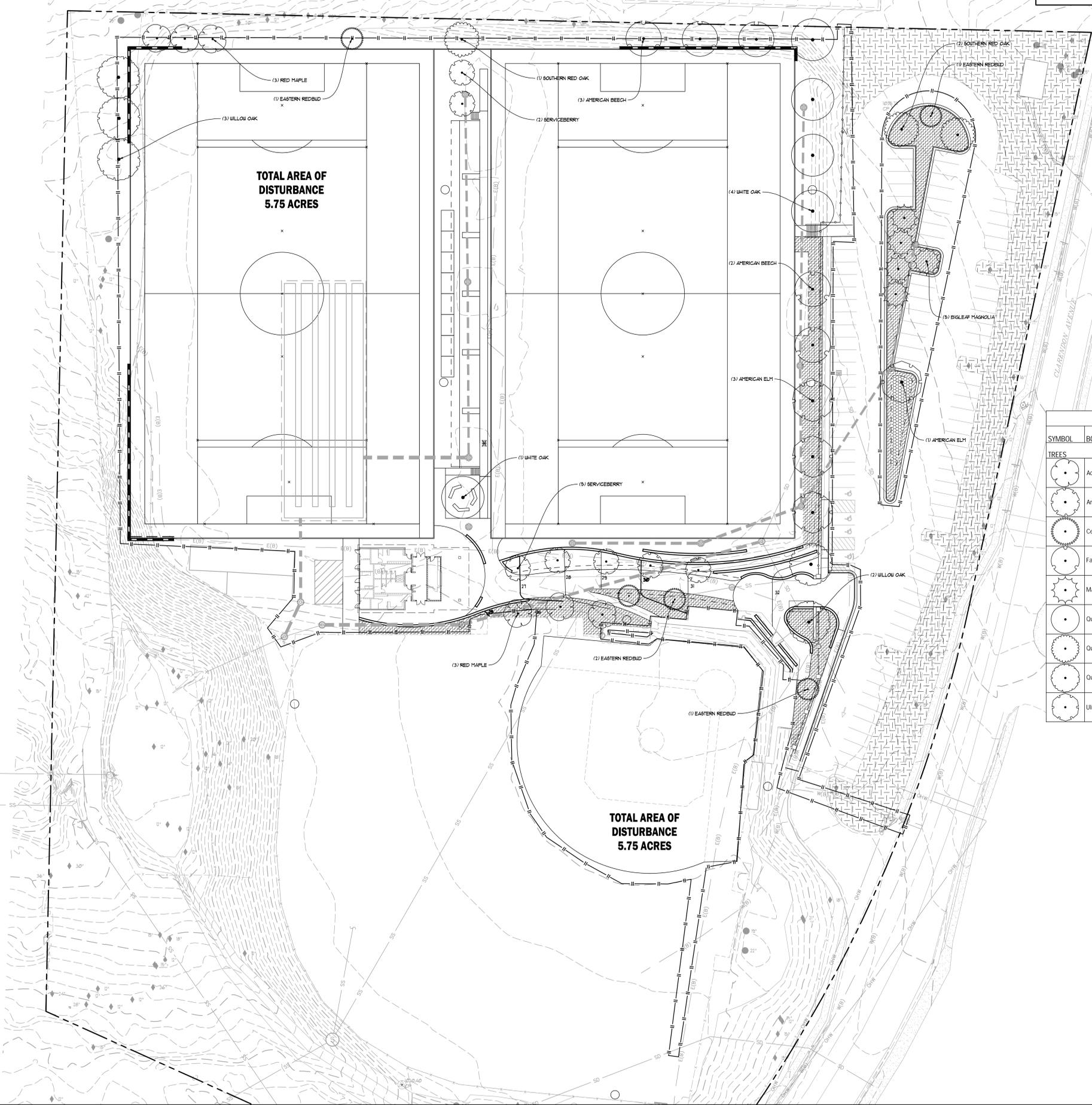
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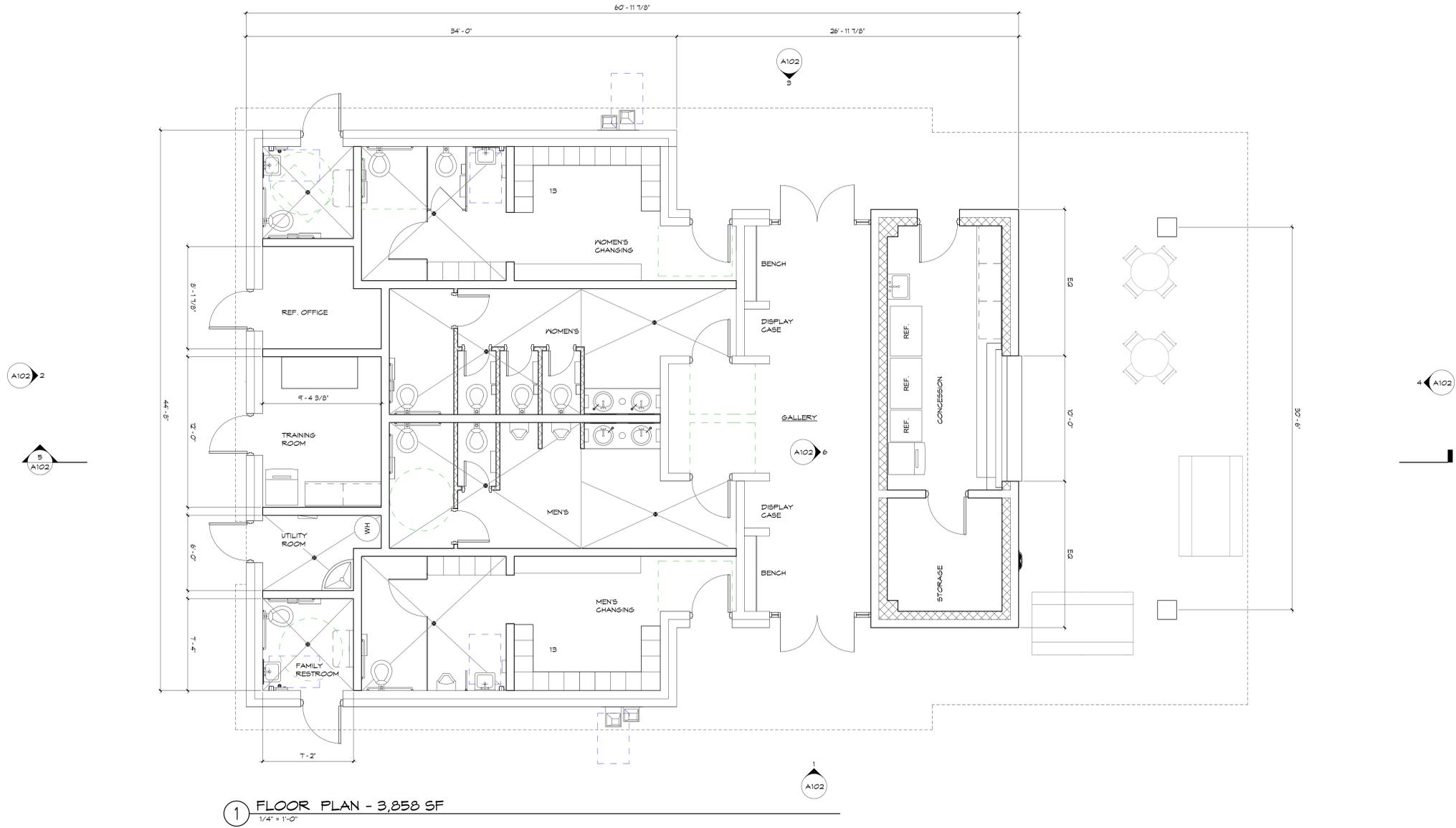
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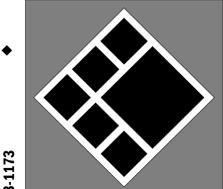


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1 FLOOR PLAN - 3,858 SF  
1/4" = 1'-0"



CONSULTANT

SEAL

15 SIMPSON ST. NW, ATLANTA GA 30308  
Phone: 770-483-1173

**PAIDEIA PYTHON PARK  
RENOVATION**  
1201 CLARENDON AVE.,  
AVONDALE ESTATES, GA - 30002

REVISIONS

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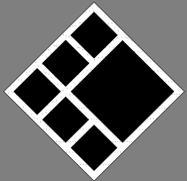
FLOOR PLAN

A101

Civil Engineers

Landscape Architects

Breedlove Land Planning, Inc.



Phone: 770-483-1173

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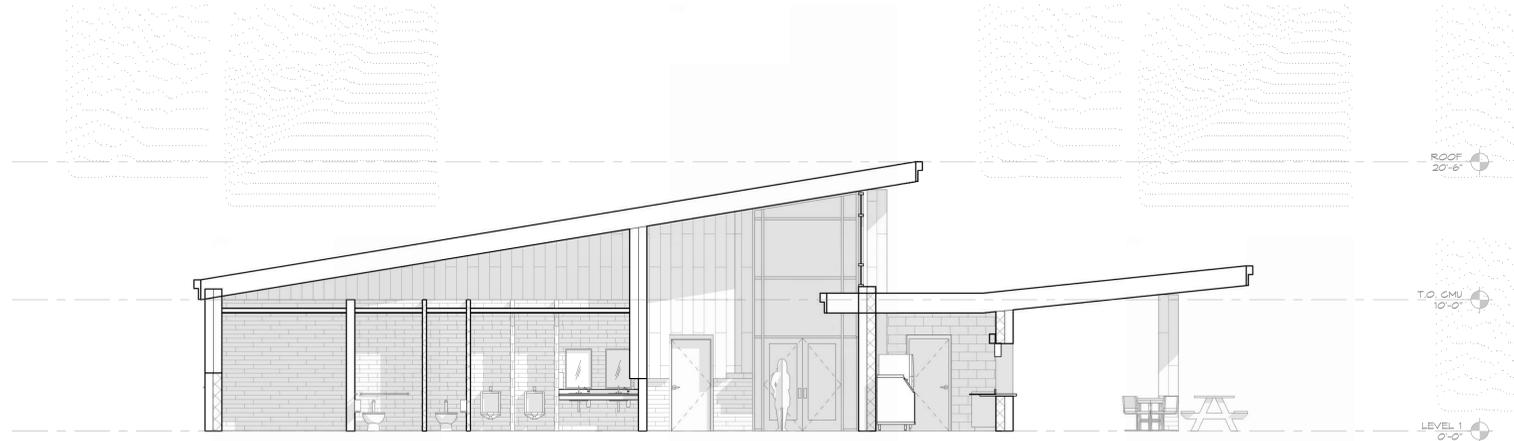
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Appendix Exhibit 4

BLP, INC. PROJECT NO: 24136  
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ELEVATIONS AND SECTIONS

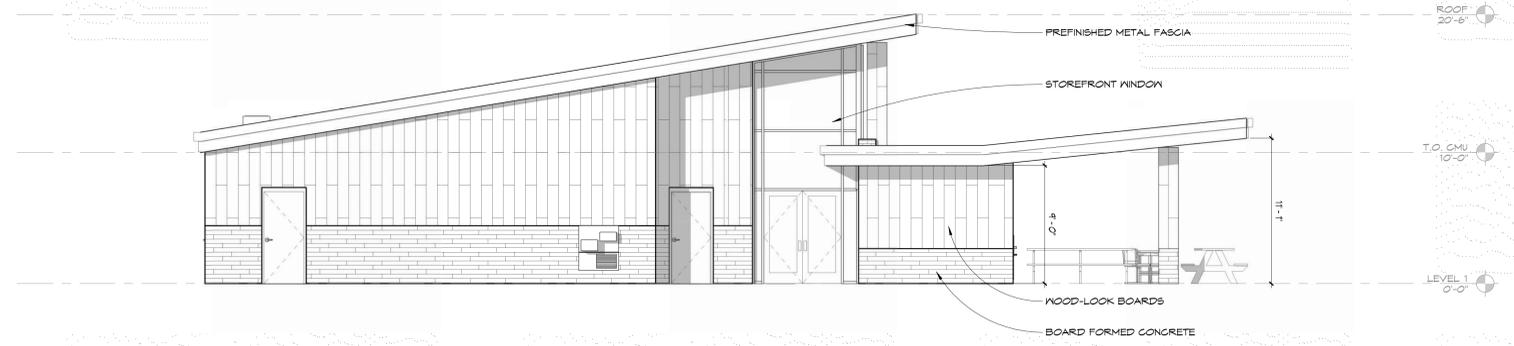
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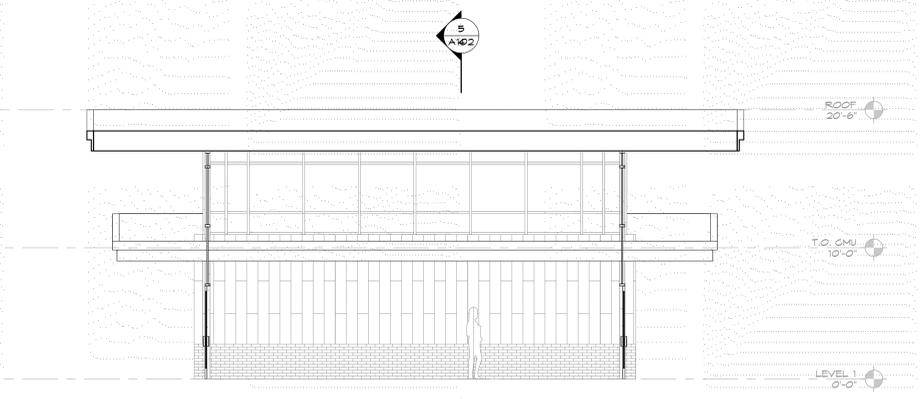
5 NORTH / SOUTH - BUILDING SECTION  
3/16" = 1'-0"



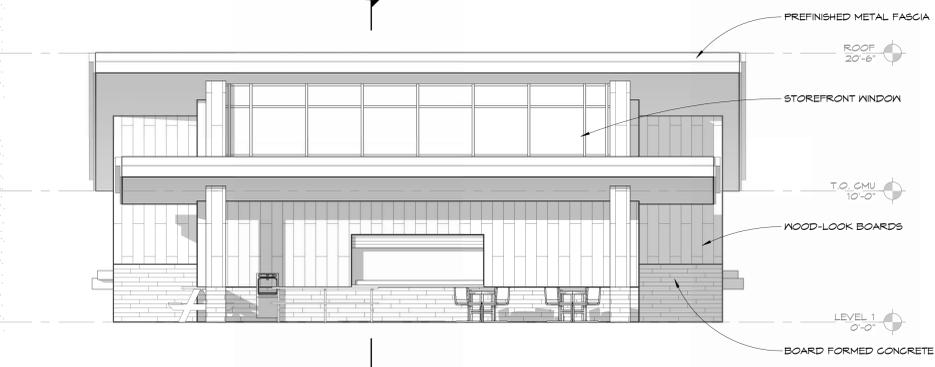
3 WEST - ELEVATION  
3/16" = 1'-0"



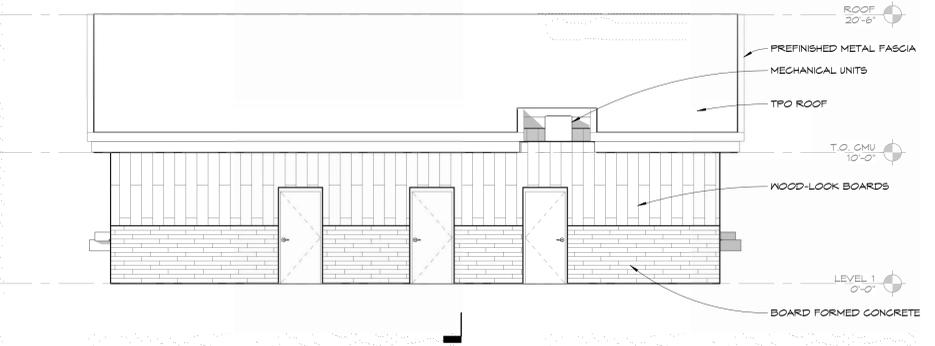
1 EAST - ELEVATION  
3/16" = 1'-0"



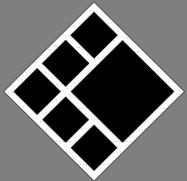
6 EAST / WEST - BUILDING SECTION  
3/16" = 1'-0"



4 SOUTH - ELEVATION  
3/16" = 1'-0"



2 NORTH - ELEVATION  
3/16" = 1'-0"



Phone: 770-483-1173

15 SIMPSON ST. NW, ATLANTA GA 30308

Civil Engineers

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◆

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Appendix  
Exhibit 4

BLP, INC. PROJECT NO: 24136

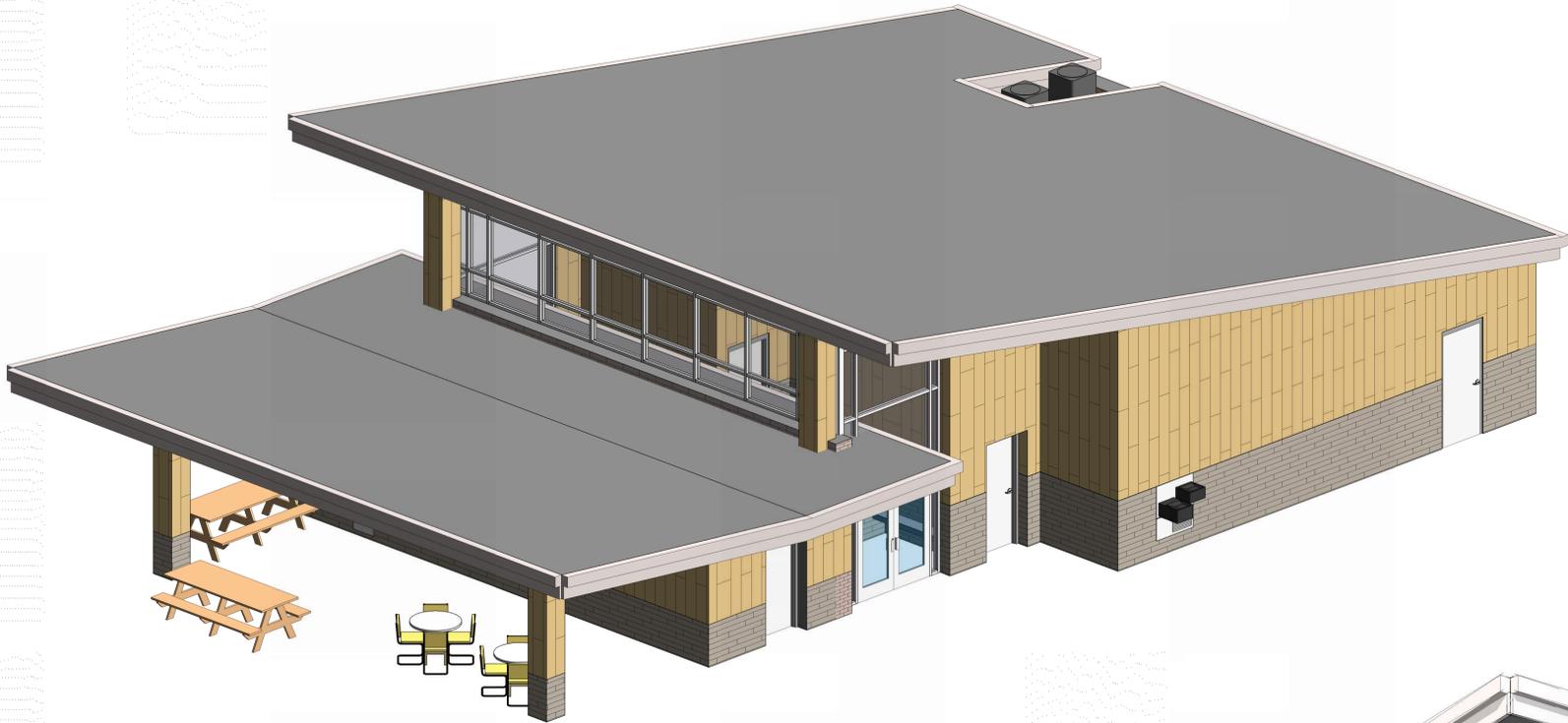
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3D VIEWS

A103



**City of Avondale Estates**  
**Planning Architectural Zoning Board**  
**Staff Review, Development of Community Impact with Concurrent Variances \***

---

**April 21, 2025, PAZB Meeting**

**Applicant:** The Paideia School: Alan Wieczynski, Breedlove Land Planning

**Property Address:** 1201 Clarendon Avenue (Python Park)

**Property Zoning:** Office-Institutional (O-I)

**Project Summary:** The applicant has applied for a Development of Community Impact (DCI) to make improvements to an existing school sports field complex including converting fields to synthetic turf, rebuilding the field house, interior site upgrades, parking lot revisions, fencing, lighting, sound system, and field score board additions. As a part of this application three concurrent variances have been requested: 1) Sec. 21-6.2.3 to allow a reduction of bicycle parking from 100 spaces to 15 spaces, 2) Sec. 21-6.5.1 to allow chain link fencing material around sports fields and allow the existing vehicle gate to be maintained in its current condition, and 3) Sec. 21-6.5.3 to allow an increase in the height of a fence from 6 feet to 8 feet tall. (The fence height variance was subsequently withdrawn by the applicant.)

**Applicable Ordinances:** The City of Avondale Estates Zoning Ordinance regulations **Sec. 21-7.6 Developments of Community Impact** requires “Any development or building project on a site consisting of two (2) acres or more that is not seeking an amendment or conditional use shall proceed through the developments of community impact (DCI) process.” **Sec. 21-6.2.3** 0.1 short term bike parking spaces required per sports and recreation, participant fixed seat. **Sec. 21-6.5.1 C. Materials** 1. Chain link fences are prohibited in any commercial, mixed-use, or multi-unit building districts. D. Prohibited fences 2. Vehicular gates are prohibited, unless a conditional use permit is secured through the conditional use process outlined in division 7.5 - amendments and conditional uses. **Sec. 21-6.5.3 A. Fences and walls shall not exceed three (3) feet in height when located in the front yard or six (6) feet in height when located in any other (non-front) yard for any commercial, mixed-use, or multi-unit building use.**

**Analysis:** The requested DCI is to renovate the existing school sports complex. The primary impact is the reconstruction of a field house, expansion of the existing parking lot, and conversion of two soccer/ultimate frisbee fields and baseball infield from natural turf to synthetic turf. The proposed turf conversion has significant stormwater and lot coverage implications. The applicant is proposing an underground water quality management retainage system to capture runoff from the 5.81 acres of disturbed area. A landscaped transitional buffer of 5 feet is required and the applicant is exceeding this requirement. Lighting is proposed to be added to the east soccer and ultimate frisbee field. Sound system upgrades are proposed for use during games. The applicant will comply with all lighting and noise ordinances. Field lighting hours should align with residential quiet hours found in the City Code.

The applicant is requesting a variance to allow a reduction in bike parking spaces from 100 spaces to 15 spaces. The ordinance requires 0.1 bike parking spaces per 1,000 fixed participant seats which

equals 100 bike parking spaces required. This requirement exceeds the projected need for bike parking at the school sports complex because the school it serves is not local and the majority of participants and spectators will arrive by bus, van, or car. Fifteen (15) bike spaces will serve the bike parking needs for the proposed sports complex upgrades.

The applicant is requesting a variance to allow chain link fencing as a fencing material for new fence located in the interior of the site along the west and north edges of the soccer/ultimate frisbee fields. The existing fencing surrounding the school sports complex is 6 foot tall galvanized chain link fencing and has legal non-conforming status per Sec. 21.8.3 Nonconformities. The applicant is proposing vinyl coated chain link material which is an appropriate material for fencing surrounding a sports field and is visually less intrusive than galvanized chain link.

A fencing height of 8 feet in the fence segment adjacent to the parking lot interior entrance was originally proposed, however, the applicant has reduced the proposed height to 6 feet and has withdrawn the request for a variance to Sec. 21-6.5.3 to allow an increase in the height of a fence from 6 feet to 8 feet tall. The zoning ordinance allows fences 6 feet in height in the proposed location and the proposed fence segment links into existing fencing that is 6 feet high, therefore, there is no security benefit to the additional height.

**Review and approval criteria for Developments of Community Impact (Sec. 21-7.6.10):**

- A. Design shall be in harmony with the general character of the neighborhood and surrounding area, considering factors such as mass, placement, height, changing land use patterns, and consistency of exterior architectural treatment, especially in areas of historic and special design interest**  
Python Park has coexisted within the City of Avondale Estates for over 30 years. No land use or zoning changes are being requested. The requested variances are related to existing exterior fencing, interior fencing that connects to existing fencing, and bike parking. All other aspects of the project will meet the City Code of Ordinances.
- B. Design components shall be planned such that they are physically and aesthetically related and coordinated with other elements of the project and surrounding environment to ensure visual continuity of design.**  
Design components will largely stay in the same location as their current locations. Where the multipurpose field enlargements are being proposed, existing vegetation will be maintained at a larger width than City buffer requirements
- C. Design shall protect scenic views, particularly those of open space, and utilize natural features of the site.**  
The proposed project preserves existing vegetation at a greater width than City buffer requirements, meets all canopy coverage requirements and exceeds City open space requirements
- D. Design shall protect adjacent properties from negative visual and functional impacts.**  
All adjacent properties to the south, west and north will abut natural, undisturbed buffers greater than code requires. Noise and light impacts will be designed to meet or exceed City code requirements. Traffic impacts will be negligible as only 20 additional parking spaces are being proposed.
- E. Design shall respect the historical character of the immediate area as integral parts of community life in the city and shall protect and preserve structures and spaces which provide a significant link within these areas.**  
No changes in land use or zoning are being requested. Sidewalks, curb cuts and entrances are being preserved in their existing location.

**F. All exterior forms, attached to buildings or not, shall be in conformity with, and secondary to, the building.**

The goal of the project is to create a harmonious campus that speaks to the character of The Paideia School and the City of Avondale Estates

**G. The proposed development is suitable in view of the use and development of adjacent and nearby property.**

Python Park is existing, and no change in land use or zoning is being requested

**H. The proposed development does not adversely affect the existing use or usability of adjacent or nearby property.**

Through the preservation of existing vegetation, and compliance with code for lighting and noise, the project will not affect the existing use or usability of adjacent properties

**I. The proposed development does not result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities or schools.**

No excessive burden will be placed on public resources, including streets, utilities schools or other such facilities.

**J. The proposed development is in conformance with the applicable zoning district.**

O-I zoning allows for the existing and proposed use.

**K. The proposed development is in conformance with the provisions of the future development plan articulated in the city's comprehensive plan and any sub-area plan.**

The City's comprehensive plan identifies this area's character use as educational, which will remain.

**Review and approval criteria for concurrent variances (Sec. 21-7.2.10):**

**1. There are extraordinary and exceptional conditions pertaining to the particular property in question because of its size, shape, topography, or a mature tree or tree stands; and**

There are extraordinary and exceptional conditions pertaining to the subject property due to its size of 11.85 acres.

**2. The application of this ordinance to the particular piece of property would create an unnecessary hardship; and**

Application of the ordinance would create an unnecessary hardship because the use of sports field is permitted, and fencing is necessary for a school sports complex to function. The existing fencing material is chain link, and the proposed segments are vinyl coated chain link in the interior of the site around a soccer field. Chain link is an appropriate fencing material for this location.

Application of the ordinance would create an unnecessary hardship because the use of sports field is permitted, and a requirement of 100 bike parking spaces is excessive for the manner in which the property is proposed to be used. 15 bike parking spaces will serve the bike parking needs for the proposed use.

**3. Such conditions are peculiar to the particular piece of property involved; and**

The subject property has conditions that are unique or peculiar to the subject property because the property is large and has a unique use within the community that is supported by the Comprehensive Plan.

**4. Such conditions are not the result of actions of the property owner; and**

The condition of a large parcel used for a school sports complex is not the result of actions of the property owner.

**5. Relief, if granted, would not cause substantial detriment to the public good nor impair the purposes or intent of this zoning ordinance or be in conflict with an adopted master plan.**

Relief if granted, would not cause substantial detriment to the public good by allowing chain link fencing in the interior of an existing sports complex or a reduction in the bike parking from 100 spaces to 15 spaces. Relief would not be in conflict with the adopted master plan, or with the purposes and intent of the zoning ordinance to allow a school sports facility on this site.

**Recommendation:** The proposed changes to Python Park by the Paideia School will not significantly change the current use of the subject property. Investments in the school sports complex are good for the community along with maintenance of the property. Significant improvements in the stormwater infrastructure will protect the community from negative stormwater impacts. Staff supports the Development of Community Impact application with the following conditions: Hours for events and field lighting shall be limited to between 7:00 a.m. and 11:00 p.m. every day in accordance with residential quiet hours found in Sec. 12.4.1.

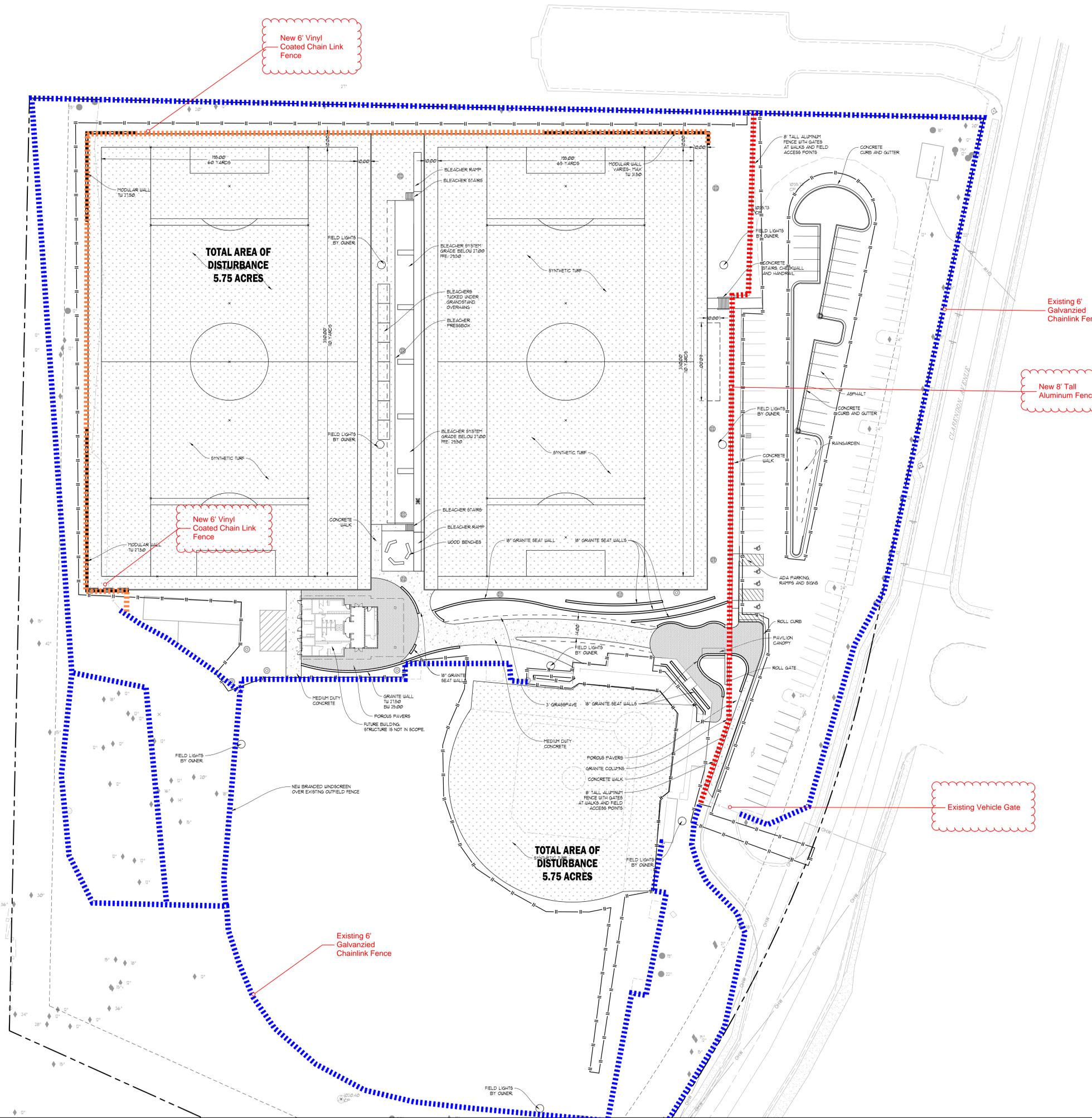
The majority of the users for the sports complex are coming from distances beyond standard biking distance and many participants will arrive via school bus. Bike parking will be accommodated but not meet the zoning standard which was set to accommodate the needs of a sports complex with more local participants. Staff supports a variance to Sec. 21-6.2.3 to allow a reduction in bike parking spaces from 100 spaces to 15 spaces.

A school sports complex is a permitted use for the subject property. The existing 6 foot high chain link fencing and gate are legal non-conforming structures per Sec. 21.8.3 Nonconformities and therefore, are permitted. The proposed interior fencing additions are necessary for the useful operation of the sports complex and the proposed materials of vinyl coated chain link adjacent to sports fields and aluminum fencing adjacent to the interior entrance are appropriate materials for this use. Staff supports a variance to Sec. 21-6.5.1 to allow chain link fencing material around sports fields and allow the existing vehicle gate to be maintained in its current condition.

The requested variance to Sec. 21-6.5.3 to allow an increase in the height of a fence from 6 feet to 8 feet tall was withdrawn by the applicant in favor of a code compliant proposed fence height of 6 feet.

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\*This review is based on materials received by the applicant at the time of review.  
New information from the applicant may amend the recommendation.



**GENERAL LAYOUT NOTES**

1. PROPOSED BUILDING USE: TURF PLAYGROUND
2. CONTRACTOR SHALL VERIFY CONDITIONS AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED.
3. CONTRACTOR SHALL STAKE ALL BUILDING CORNERS AND OBTAIN ARCHITECT'S APPROVAL BEFORE POURING ANY FOOTINGS.
4. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
5. ALL DIMENSIONS ARE TO THE FACE OF CURBS AND FACE OF WALLS.
6. ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED.
7. CURBS AND GUTTER RADI ARE 5' UNLESS OTHERWISE NOTED.

**PAVING LEGEND**



**UTILITY LOCATION NOTES**

1. CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE SERVICES OF A PRIVATE UTILITY LOCATOR FIRM DURING THE ENTIRE COURSE OF CONSTRUCTION. CONTRACTOR SHALL PAY FOR SAID SERVICES.
2. CONTRACTOR SHALL IMMEDIATELY REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO THE OWNER.
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**GRAPHIC SCALE & ORIENTATION**



**DO NOT BREAK OR DUPLICATE**

1. DO NOT DUPLICATE DRAWINGS WITHOUT PERMISSION.
2. READ THE SPECIFICATIONS, THIS SET OF DRAWINGS AND SPECIFICATIONS DEFINE PROJECT SCOPE AND CONTRACT REQUIREMENTS. INDIVIDUAL SHEETS SEPARATED FROM THIS SET MAY NOT ADEQUATELY REFLECT ALL INFORMATION NEEDED TO SUITABLY COVER CERTAIN ITEMS. DO NOT SEPARATE THIS SET OF DRAWINGS INTO INDIVIDUAL SHEETS.

**CALL BEFORE YOU DIG**



GEORGIA LAW MANDATES THAT, BEFORE BEGINNING ANY MECHANIZED DIGGING OR EXCAVATION WORK, YOU MUST CONTACT GEORGIA 811 BY USING REQUEST ON 1-800-888-8111 OR BY CALLING 811 OR 1-800-251-4111 AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS IN ADVANCE TO HAVE UTILITY LINES MARKED.



1020 OLD BISHOP ROAD, BISHOP GA 30621  
Phone: 770-483-1173

Civil Engineers  
Landscape Architects

**PAIDEIA PYTHON PARK  
RENOVATION  
1201 CLARENDON AVE.,  
AVONDALE ESTATES, GA 30002**

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BLP, INC. PROJECT NO: 24136  
DATE: 03-21-2025  
DRAWING BY: XXX  
CHECKED BY: CB

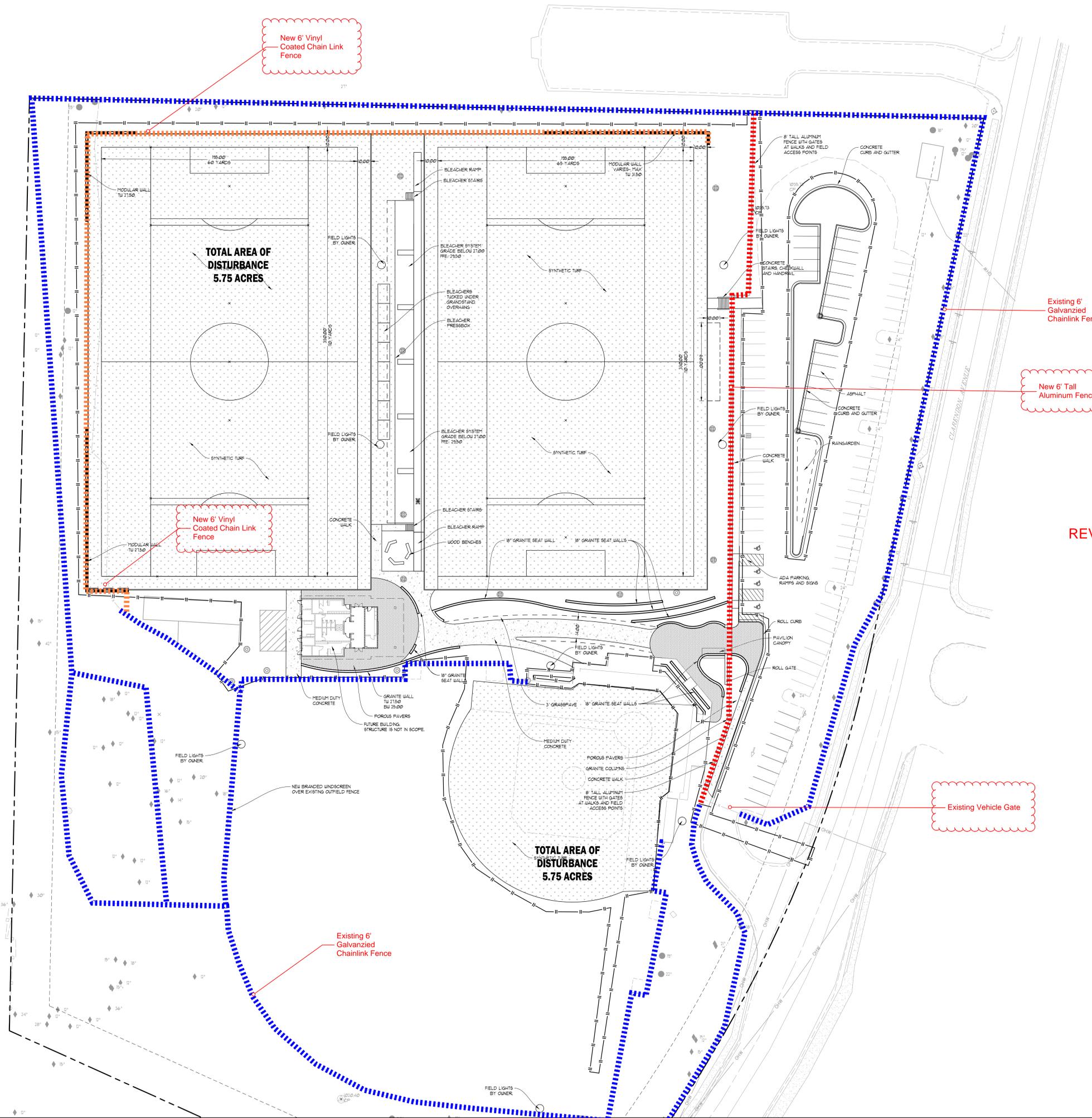
**Breedlove Land Planning, Inc.**  
**SITE LAYOUT AND STAKING PLAN**  
**C200**

CONSULTANT

SEAL

SHEET TITLE

SHEET#



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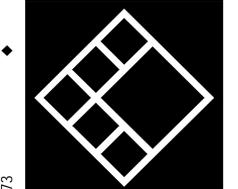
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REVISED 4.16.25



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